

Record and return to:

Kevin Golden, Esquire
Cozen O'Connor
1650 Market Street, Suite 2800
Philadelphia, PA 19103

BRT No.: 885708800; Part of 885887220

NEIGHBORHOOD DEVELOPMENT AGREEMENT

This Agreement (this "Agreement") is dated 6/12, 2017 and intended to be effective as of 6/12, 2017 (the "Effective Date") between Logan Square Neighborhood Association, a Pennsylvania non-profit corporation ("LSNA") and 2301 JFK Owner LP, a Delaware limited partnership ("Owner") with offices at 1608 Walnut Street, Suite 1400, Philadelphia, PA 19103.

WHEREAS, Owner is the owner of the real property located at 2301 John F. Kennedy Boulevard and 60 N. 23rd Street, Philadelphia, PA as more fully described on Exhibit A attached hereto and made a part hereof (collectively, the "Property");

WHEREAS, Owner intends to construct on the Property north of the elevated Southeastern Pennsylvania Transportation Authority right-of-way a mixed-use project including approximately 700,000 square feet of residential uses, approximately 71,000 square feet of retail and commercial uses and accessory structured parking (collectively, the "Project");

WHEREAS, Bill No. 140439 which included certain technical changes to the zoning code was passed by Philadelphia City Council on June 12, 2014 and signed by the Mayor of Philadelphia on August 5, 2014 with a sunset date of December 31, 2016.

WHEREAS, in connection with the development of the Project, Owner has requested Bill No. 140439 be reinstated and the sunset be extended.

WHEREAS, LSNA agrees not to oppose the reinstatement of Bill No 140439, as amended, pursuant to Bill No. 170306 with a sunset date of December 31, 2020 (the "Ordinance") in consideration of Owner entering into this Agreement with LSNA covering certain subjects of interests to LSNA;

NOW, THEREFORE, in consideration of the above premises and the mutual agreements of the parties hereto, and each intending to be legally bound, LSNA and Owner agree as follows:

1. Incorporation by Reference. The recitals above are hereby adopted and incorporated by reference as if fully set forth herein.
2. LSNA Non-opposition of Project. LSNA agrees and Owner acknowledges that LSNA shall not oppose and has not opposed the passage of the Ordinance, or the issuance of any

necessary zoning/building permits and/or other approvals that may be required for the completion of the Project.

3. Plans for Project. Owner has presented to LSNA plans for the Project showing exterior facade materials and finishes, including plans for the facade of the garage (attached as Exhibit B, the “Plans”), and will present the Plans to the Philadelphia Civic Design Review Committee, and Philadelphia City Planning Commission. At such time as such Plans for the facade are completed, Owner shall provide a copy of such Plans to LSNA. Materials to be used shall be consistent with presentations made during the public approval process and the facade shall be designed to prevent lights from vehicles parking in the garage to shine onto neighboring properties and to minimize the impact of light pollution on the Rivers Edge Condominium. If the Plans are modified after the execution of this Agreement, those revisions are to be provided to LSNA during the Civic Design Review process for review and comment by the LSNA Planning & Design Committee. The parties acknowledge and agree that the Plans are subject to the review and approval of various State and local agencies. To the extent the Plans are modified in connection with the approval process, the Plans shall be deemed modified to be the plans approved by such agencies. Notwithstanding the foregoing, the parties agree to sign and acknowledge an amendment to this Agreement, in recordable form, to update Exhibit B upon the request of either party. Owner shall not change the primary use of the Project’s southern tower above the podium from a residential use to a non-residential use without LSNA’s approval at a regularly scheduled monthly meeting of the LSNA registered community organization.

4. Effectiveness of Agreement. It is agreed by the parties hereto that this Agreement shall become effective upon execution hereof. The individuals executing this Agreement represent and warrant that they are each authorized to bind the respective parties.

5. Construction Sequencing, Staging and Development. Owner, with cooperation from its general contractor, shall create a construction sequencing schedule (the “Sequencing Schedule”) that will delineate construction sequencing, site staging and temporary sidewalk and street closures required for such construction. The parties understand and agree that the Sequencing Schedule is (i) conditioned upon approval from PADOT and the Philadelphia Streets Department, as required; (ii) completion of the design of the Project; and (iii) award of the contract for construction of the Project. Upon completion of the Sequencing Schedule, a copy shall be given to LSNA. Notwithstanding the foregoing, Owner and LSNA agree as follows:

a. All staging and construction work shall be done generally within the footprint of the Property to the extent reasonably practicable, recognizing that there will be a need for temporary sidewalk and street closures during construction. Temporary sidewalk and streets closures shall be done in accordance with the rules and regulations of the Philadelphia Streets Department and other applicable laws. All closures are subject to the finalization of the Project’s logistics plan and its approval by the Philadelphia Streets Department and other authorities having jurisdiction.

b. Owner shall cause its contractors to conduct excavation, grading and construction activities for the Project in such manner as to: (i) reduce, to the extent reasonably practicable, the raising and spreading of debris and dust which may migrate from the Property to the surrounding community; and (ii) take appropriate vermin and pest control measures.

Construction debris, litter and trash will be cleaned up from the public walk areas around the Property daily during the course of the Project.

c. Owner shall require major construction activity at the Property to be performed only at the times and in the manner permitted under applicable Philadelphia ordinances.

d. A temporary construction fence will be erected around the Project in such areas as reasonably determined by Owner's contractor throughout the duration of construction.

e. Owner will provide security for the Project construction site in such manner as Owner and its contractor determines is reasonably necessary.

f. All construction activities shall be performed in accordance with applicable provisions of the City of Philadelphia Code Chapter 10-400. Owner shall require major construction activity at the Property to be performed typically Monday through Friday from 7:00 a.m. until 5:00 p.m., and Saturday construction work shall typically begin no earlier than 8:00 a.m. and end at 4:00 p.m. In the event Developer's contractor determines from time to time that work will be required to go beyond 5:00 p.m. due to conditions at the Property or due to the nature of the specific construction task, notice shall be given to LSNA. There shall be no construction work on Sunday without prior notification and approval of LSNA, except when required by the City, state or federal agencies. Major construction work shall not include interior finish work performed at the Property once the building is enclosed.

g. Lane Closures. Temporary sidewalk and streets closures shall be done in accordance with the rules and regulations of the Philadelphia Streets Department and other applicable laws. If sidewalk closures occur, temporary pedestrian walkways will be provided.

h. Vector Control. Owner agrees to enter into agreements with one or more vector control providers that service both the interior and the exterior of the Project and along its boundary lines every two weeks during construction, on a monthly basis for the first six (6) months following the completion of construction and then in accordance with standard industry practice. Signs will be posted in advance warning pet owners of any rodent baiting efforts.

6. Landscaping and Lighting. Owner shall place permanent exterior lighting on and about the premises and the courtyard thereof as appropriate for safety purposes consistent with a lighting plan approved by the City of Philadelphia. Lighting installed by the Owner on sidewalks shall be pedestrian scale consistent with protocols and standards set forth by Center City District where permitted by the City. Owner shall direct such lighting, to the maximum extent practical, to not shine on or into windows of Logan Square residents directly or indirectly, whereby it may disturb residents or businesses. Owner will plan, install, maintain and as necessary, replace proposed exterior landscaping, including sidewalk trees, consistent with the Plan as it may be amended as provided in Section 1. Owner shall replace trees or shrubs if dying or dead. Upon completion of exterior lighting and landscape plans, including any changes to the plan to remove street trees because of conflicts with Streets Department regulations, the plans shall be provided to LSNA and Developer will consider reasonable comments that representatives may make. If the base of the Project's southern tower is not constructed before

the completion of the Project's northern tower, the Owner agrees to pave and/or landscape the southern portion of the Project site so the site is not left in an unfinished state.

7. Use of Arch Street Extension. The Owner currently contemplates a portion of the Project constituting the former bed of Arch Street (the "Arch Street Extension") would be used by pedestrians and bicyclists to access the western portion of the Arch Street Extension overlooking the Schuylkill River as shown on the Plans. To the extent the Arch Street Extension is open to the residents of the Project, Owner agrees to make the Arch Street Extension open to LSNA residents, subject to such rules as Owner may determine from time to time and to all applicable laws and ordinances. Owner shall have no obligation to open the Arch Street Extension in the event of emergency or force majeure.

8. Noise and Outdoor Spaces. Owner will use commercially reasonable efforts to avoid infringing on the quiet enjoyment by the neighbors of the Project. Noise from the Property, Project and outdoor spaces shall abide by applicable code requirements. All commercial HVAC units will be installed on the roof of the Project.

9. Signage. Owner anticipates the Project will incorporate identification signage of the new proposed Project and its tenants. The Project will also incorporate appropriate directional signage, in accordance with City law and other requirements. There shall be no non-accessory signs.

10. Trash Storage and Removal.

a. Except as otherwise provided in this Section, Owner will not store any trash or other waste outside the Property. Trash will be stored within the interior loading dock of the Project.

b. No trash or waste will be taken outside for collection any day. All trash pick-up will be by commercial service. Owner shall direct its waste hauling provider to pick up trash only in accordance with applicable City of Philadelphia code.

c. Nothing in this Agreement shall prevent Owner from implementing other trash and waste storage and removal procedures if the foregoing items (a) and (b) are not reasonably feasible, provided the same is done in accordance with law.

d. Under no circumstances shall trash or waste be stored on any City of Philadelphia street.

11. Maintenance. Owner or any successor agrees to maintain and keep the exterior of the Project including, without limitation, the buildings, ramps, parking, surrounding sidewalks, landscaping and trees in good condition and repair and reasonably free of rubbish, debris, ice and snow. Owner agrees to support the LSNA effort to have the City repair Cuthbert Street between 22nd and 23rd Streets.

12. Proposed Retail, Deliveries and Residential Move-Ins: Deliveries to proposed retail locations, including supermarket, and residential move-ins shall be restricted to straight trucks or pups with a maximum length of 40'. Residential deliveries off of Cherry Street shall be

restricted to the hours of 9:00 am to 4:00 pm and 6:00 pm to 10:00 pm. Retail deliveries off of Cherry Street shall be restricted to the hours of 6:00 am to 10:00 pm. Owner shall use commercially reasonable efforts (i) to prevent trucks from blocking Cherry Street or idling on Cherry Street or any adjacent Streets, and (ii) to require commercial trucks making retail deliveries to the Project to approach the Project from the southbound lane of 23rd Street. All retail deliveries and residential move-ins are to be made through loading docks. Street level/sidewalk deliveries will not be permitted at any retail location. No warning horns are to be used as cars/trucks exit the parking garage or loading dock areas because of the close proximity to Rivers Edge condominiums, except to the extent required by applicable law. At times when retail deliveries are accepted at the Property, a loading dock master is to be on-site. Owner shall use commercially reasonable efforts to minimize the noise level of the loading dock garage doors on Cherry Street.

13. Support for LSNA Projects. Owner agrees to support LSNA effort to have the City add a traffic light at the intersection of 23rd and Cherry Streets. If the LSNA board votes to recommend the removal or modification of the south sidewalk of Cherry Street west of 23rd Street to a seven foot (7') width, Owner will support LSNA's efforts to obtain the required ordinance.

14. Communications. Should LSNA or its designee desire to communicate with Owner during business hours concerning the construction activities of the Property, LSNA may contact Jonathan Stavin, Executive Vice President of PMC Property Group, or Robert Fuller, Director of Construction at Fastrack Buildings, Inc., at telephone numbers to be provided to LSNA upon execution of this Agreement. In the event the phone numbers are changed, Owner will notify LSNA within twenty-four (24) hours of such change. Owner shall use an e-mail distribution list created by LSNA in order to communicate to neighbors any street closures, modification to construction protocols, schedule, etc during the construction of the Project.

15. Changes to Agreement. LSNA agrees to expeditiously (taking into consideration their regular meeting schedules and procedures) consider (but shall not be obligated to approve) any request by Owner to make material changes to this Agreement.

16. Termination. If Owner is unable to obtain satisfactory third-party approvals required for the construction of the Project, or elects to not proceed with the Project, then, upon ten (10) days written notice to LSNA, this Agreement shall become null and void, whereupon the Escrow provided for in Section 18 shall be promptly released and returned to Owner, and Owner shall have no further obligations under this Agreement. In the event Owner terminates this Agreement pursuant to this Section 16, Owner shall not develop the Property under the benefits of the temporary zoning code changes contained in the Ordinance without entering into a replacement agreement with LSNA.

17. Severability. All of the provisions of this Agreement are intended to be distinct and severable. If any provision of this Agreement is or is declared to be invalid or unenforceable, it shall be ineffective only to the extent of such invalidity or unenforceability. Such invalidity or unenforceability shall not affect either the balance of such provision, to the extent it is not invalid or unenforceable, or the remaining provisions hereof, nor render invalid or unenforceable such provision.

18. Escrow. Owner shall establish an escrow account ("Escrow") with a mutually acceptable escrow agent which may be Cozen O'Connor or another mutually acceptable attorney, real estate broker, title insurance agent or similar professional (the "Escrow Holder") in the amount of Thirty Thousand Dollars (\$30,000.00), subject to a mutually acceptable escrow agreement.

a. If LSNA believes Owner has breached its obligations under this Agreement, written notice shall be sent (in accordance with Section 23) from the President of LSNA (the "Officer") to Owner that it is in breach of this Agreement and setting forth the exact nature of the breach (the "Notice").

b. Within ten (10) days after receipt of the Notice, Owner shall cure the breach, or if such breach cannot reasonably be cured within ten (10) days, Owner, within such ten (10) days, (i) shall advise the Officer in writing as to the time reasonably required for accomplishing the cure and (ii) shall initiate such cure, and, after such initiation, shall diligently pursue such cure thereafter to completion.

c. In the event Owner has not complied with subparagraph (b) above, which determination shall be made by the Officer, the Officer may draw upon the Escrow for use by the LSNA to pay as incurred reasonable fees and expenses of legal counsel as expenses occur to enforce this Agreement, or to cure the default or for damages claimed to have been suffered by any person who is a member of LSNA, by delivering to the Escrow Holder a certification signed by the Officer stating that a default has occurred under this Agreement beyond the applicable cure period. LSNA shall have the right to make a claim for counsel fees and expenses from the Escrow without a prior court determination. Reimbursement by LSNA to Owner of the portion of the Escrow used to pay legal fees shall occur only if a court of competent jurisdiction determines that LSNA actions were both wrong and in bad faith. Reimbursement by LSNA to Owner of the portion of the Escrow used to cure a default or for damages claimed to have been suffered by any person who is a member of LSNA shall occur if a court of competent jurisdiction determines that LSNA actions were wrong.

d. The Escrow shall be maintained by the Owner for a period commencing on the Effective Date and expiring on the earlier to occur of (i) the second anniversary of final completion of the Project (i.e., receipt of a certificate of occupancy), or (ii) five (5) years after the Effective Date.

e. In the event that the Escrow is drawn upon pursuant to this Agreement, then Owner shall be required to deposit additional money necessary for the Escrow value to maintain the full Thirty Thousand Dollars (\$30,000.00) until the expiration of the period for maintenance of the Escrow. Notwithstanding the foregoing, in no event shall more than Forty-Five Thousand Dollars (\$45,000.00) be placed in Escrow in the aggregate throughout the entire term of this Agreement.

19. Enforcement. In addition to LSNA's recourse to the Escrow, LSNA shall have other remedies at law and in equity (including, without limitation, the right to seek an affirmative injunction) available against Owner, its successors and assigns, for enforcement of this

Agreement and the right to reimbursement for attorney's fees and costs incurred in enforcing this Agreement.

20. Agreements Run With The Land. Unless terminated as provided in this Agreement, the terms and conditions set forth in this Agreement shall apply to Owner and its successors and assigns until the earlier of (i) the date which is twelve (12) years from the Effective Date, or (ii) the date which is one (1) year following the issuance of a certificate of occupancy for the southern building proposed as part of the Project. This Agreement shall be recorded with the Philadelphia Department of Records at the cost of Owner within thirty (30) days of the execution hereof, with an original copy of the recorded agreement provided to LSNA by the Owner upon the date of recordation. The cost for recording shall be paid by Owner. If Owner fails to record within thirty (30) days of execution, LSNA shall be deemed authorized to record the document. It is expressly acknowledged and agreed that this Agreement is subordinate to and in no event shall this Agreement have priority over any financing document, lease, condominium document or financing arrangement required to acquire the Property or construct the Project without regard to dates of execution or order of recordation. The subordination provision of the preceding sentence will operate automatically but LSNA will promptly upon request from time to time execute, acknowledge and deliver an instrument or instruments confirming subordination in accordance with the preceding sentence. Owner may record a notice that the Agreement is no longer in effect upon the expiration of the Agreement or its earlier termination in accordance with this Agreement.

21. Injunctive Relief. Owner and LSNA agree to promptly discuss any alleged breach of this Agreement. Following such dialogue, if LSNA reasonably determines that Owner has breached any provision of this Agreement, LSNA shall provide Owner with written notice of the exact nature of the breach. Owner shall have ten (10) business days from receipt of such notice to cure such breach; provided, however, that if such breach is not capable of being cured within such ten (10) day period, but Owner shall have commenced to cure the breach during such ten (10) day period, then such ten (10) day period shall be extended as long as reasonably necessary to effect the cure. If Owner fails to cure the breach within the cure period (as the same may be extended), LSNA shall then have the right to exercise all available legal and equitable remedies, including the right to seek injunctive relief. For these purposes, the parties agree that the Property and surrounding neighborhood and the terms and conditions of this Agreement are unique so as to make appropriate the issuance of injunctive relief to enforce the terms of this Agreement.

22. Entire Agreement. This Agreement and any exhibits constitute the complete and entire understanding and agreement among the parties with respect to the subject matter hereof, and it supersedes any negotiations, representations, prior discussions, and preliminary agreements among the parties, unless specifically incorporated herein by reference. No promise, warranty, representation or covenant not included in this Agreement has been or is relied upon by either party. This Agreement may not be modified, altered, amended or changed except by a written instrument signed by each of the parties, whether or not such modification is supported by separate consideration.

23. Notices. All notices required under the terms of this Agreement shall be given by recognized overnight courier and addressed as follows:

If to Owner: c/o PMC Property Group
1608 Walnut Street, Suite 1400,
Philadelphia, PA 19103
Attention: Jonathan S Stavin

With a copy to: Cozen O'Connor
1650 Market Street, Suite 2800,
Philadelphia, PA 19102
Attention: Kevin Golden

If to LSNA: To the current President of LSNA at the then current address of LSNA, provided that LSNA has given Owner written notice of the name and address of the then-current President of LSNA. If LSNA has failed to give Owner written notice of the name and address of the then-current President of LSNA, any notice by Owner shall be deemed to be adequately addressed if addressed to the last name and address given by LSNA to Owner. At the present time the address of LSNA is:

Logan Square Neighborhood Association
143 N. 22nd Street
Unit D
Philadelphia, PA 19103
Attn: Drew Murray (lsnapres@gmail.com)

The parties may change the person to be notified and the address for notification by written notice to the other party sent in the same manner as the notice specified herein.

24. Headings. The headings and captions in this Agreement are inserted for convenience of reference only and in no way define or limit the scope or intent of this Agreement or any provision hereof.

25. Applicable Law. This Agreement shall be interpreted under the law of the Commonwealth of Pennsylvania.

26. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of which, when taken together, shall constitute one and the same document.

27. No Third Party Beneficiaries. This Agreement shall be enforceable by the parties hereto and their successors and assigns. No third party shall have any rights hereunder, and the Agreement shall not be construed to confer upon any other person or entity any right or interest hereunder, or any right of action, or enforcement.

28. Not a Public Dedication. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Property to the general public, or for any public use or purpose whatsoever.


[Signatures on next page]

IN WITNESS WHEREOF the parties hereto, intending to be legally bound, have executed this Neighborhood Development Agreement as of the day and year first above written.

2301 JFK OWNER LP, a Delaware limited partnership

By: 2301 JFK Owner General Partner LP, a Delaware limited partnership, its general partner

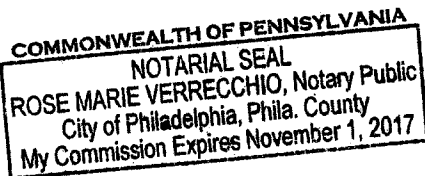
By: 2301 JFK Owner General Partner GP LLC, a Delaware limited liability company, its general partner

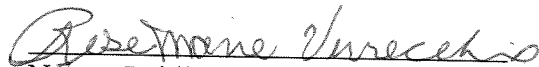
By: 
Name: Jonathan S Stasio
Title: EOP

STATE OF PENNSYLVANIA :
COUNTY OF Philadelphia : SS.
:

On this, the 12 day of June, 2017, before me, a Notary Public in and for the Commonwealth of Pennsylvania, personally appeared Jonathan Stasio, who acknowledged himself to be the Executive Vice President of 2301 JFK Owner General Partner GP LLC, a Delaware limited liability company, the general partner of 2301 JFK Owner General Partner LP, a Delaware limited partnership, the general partner of 2301 JFK Owner LP, a Delaware limited partnership, and that as such officer, being authorized to do so, executed the foregoing instrument for the purposed therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.




Notary Public
My Commission Expires:

(Signatures continue on next page)

LOGAN SQUARE NEIGHBORHOOD ASSOCIATION

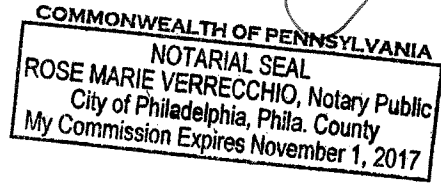
By: [Signature]
Name: Drew Murray
Title: President

By: [Signature]
Name: Rich Lembach
Title: LSNA Zoning Committee

STATE OF PENNSYLVANIA

COUNTY OF Philadelphia

:
: SS.
:



On this, the 12 day of June, 2017, before me, a Notary Public in and for the Commonwealth of Pennsylvania, personally appeared Drew Murray, who acknowledged himself to be the President of the Logan Square Neighborhood Association, and that as such officer, being authorized to do so, executed the foregoing instrument for the purposed therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

[Signature]
Notary Public
My Commission Expires:

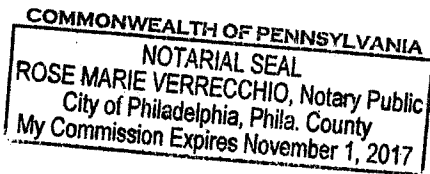
STATE OF PENNSYLVANIA

COUNTY OF Philadelphia

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: SS.
:

On this, the 12 day of June, 2017, before me, a Notary Public in and for the Commonwealth of Pennsylvania, personally appeared Rich Lembach, who acknowledged himself to be the LSNA of the Logan Square Neighborhood Association, and that as such officer, being authorized to do so, executed the foregoing instrument for the purposed therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



[Signature]
Notary Public
My Commission Expires:

EXHIBIT A**LEGAL DESCRIPTION**

BEGINNING AT A POINT ON THE WESTERLY LINE OF 23RD ST. (50 FEET WIDE) AT THE POINT OF INTERSECTION WITH THE SOUTHERLY LINE OF ARCH STREET (72 FEET WIDE) PRODUCED WESTWARDLY; AND EXTENDING THE FOLLOWING 5 COURSES AND DISTANCES: (1) SOUTH 11 DEGREES 21 MINUTES WEST ALONG SAID WESTERLY LINE OF 23RD STREET 179.023 FEET TO A POINT; (2) THENCE ALONG A NON TANGENT CURVE, CURVING TO THE RIGHT HAVING A (CHD BEARING NORTH 67 DEGREES 49 MINUTES 17 SECONDS WEST, CHD DIST 266.994) RADIUS OF 2008.483, THE ARC DISTANCE OF 267.191 TO A POINT; (3) NORTH 64 DEGREES 00 MINUTES 37 SECONDS WEST, 77.316 FEET TO A POINT ON THE SCHUYLKILL RIVER EAST SIDE RAILROAD COMPANY; (4) NORTH 19 DEGREES 3 MINUTES 29 SECONDS EAST ALONG SAID EASTERLY LINE 108.424 FEET TO A POINT; AND (5) SOUTH 78 DEGREES 59 MINUTES EAST, 322.509 FEET TO THE POINT OF THE BEGINNING.

And

BEGINNING AT A POINT WHERE THE WESTERLY SIDE OF 23RD STREET (50 FEET WIDE) MEETS THE SOUTHERLY SIDE OF CHERRY STREET (40 FEET WIDE); AND EXTENDING THE FOLLOWING 6 COURSES AND DISTANCES: (1) SOUTH 11 DEGREES 21 MINUTES 00 SECONDS WEST ALONG THE SAID WESTERLY SIDE OF 23RD STREET AND CROSSING THE EASTERLY END OF FORMER ARCH STREET (72 FEET WIDE), STRICKEN FROM THE CITY PLAN AND VACATED BUT RESERVED AS A RIGHT OF WAY FOR SEWER PURPOSES) A DISTANCE OF 357.000 FEET TO A POINT ON THE WESTERLY END OF SAID FORMER ARCH STREET; (2) NORTH 78 DEGREES 59 MINUTES 00 SECONDS WEST A DISTANCE OF 322.509 FEET TO A POINT ON THE EASTERLY LINE OF THE SCHUYLKILL RIVER EAST SIDE RAILROAD; (3) NORTH 19 DEGREES 3 MINUTES 29 SECONDS EAST ALONG THE SAID EASTERLY LINE A DISTANCE OF 171.016 FEET TO A POINT; (4) NORTHEASTWARDLY ALONG SAID EASTERLY LINE ON THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1,176.00 FEET A DISTANCE OF 135.790 FEET TO A POINT; (5) NORTHEASTWARDLY ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1214.724 FEET A DISTANCE OF 52.684 FEET TO A POINT ON THE SAID SOUTHERLY SIDE OF CHERRY STREET; AND (6) SOUTH 78 DEGREES 59 MINUTES 00 SECONDS EAST ALONG THE SAID SOUTHERLY SIDE OF CHERRY STREET DISTANCE OF 284.111 FEET BACK TO THE POINT OF BEGINNING.

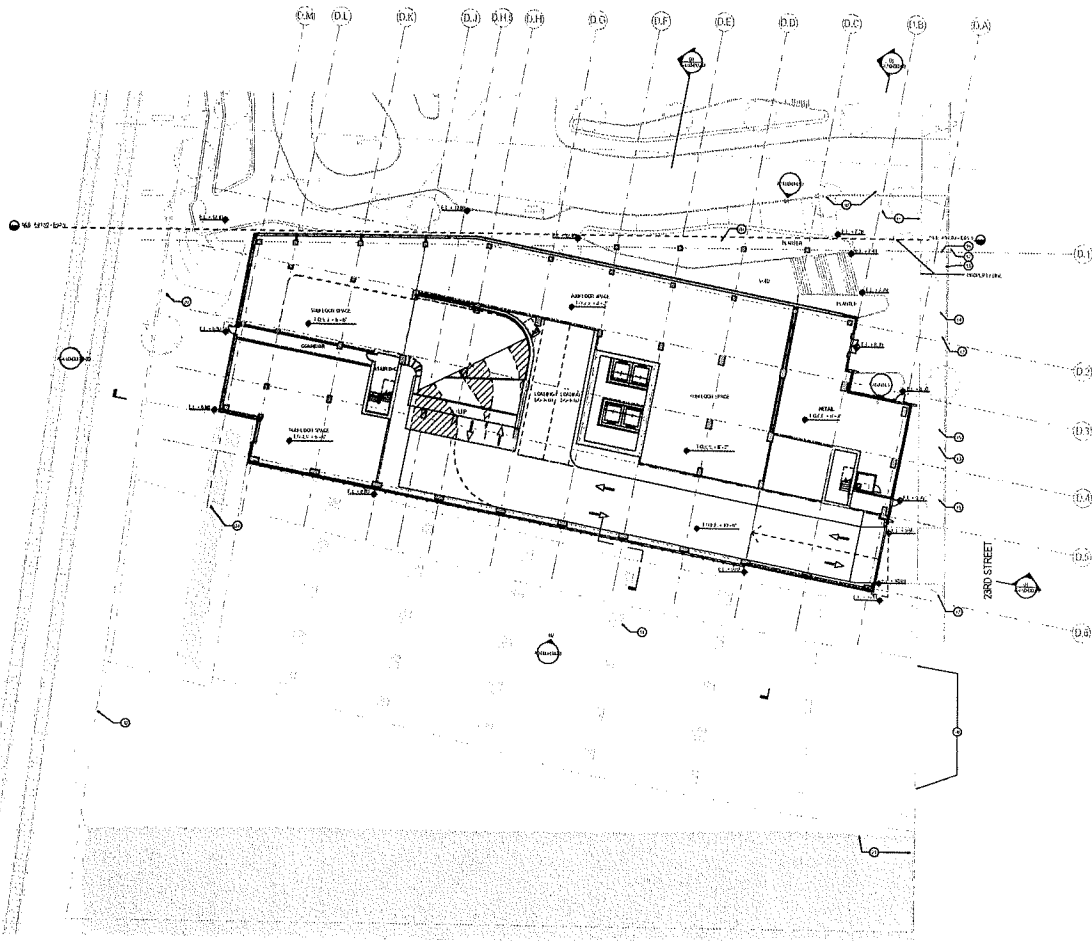
EXHIBIT B

PLANS

(see attached)

Renderings & Elevations to be
attached to this Exhibit B at the
conclusion of CDR.

AA
A-PM
PM



SHEET NOTES

- 1. SEE SHEET 01 FOR GENERAL NOTES
- 2. SEE SHEET 02 FOR GENERAL NOTES
- 3. SEE SHEET 03 FOR GENERAL NOTES
- 4. SEE SHEET 04 FOR GENERAL NOTES
- 5. SEE SHEET 05 FOR GENERAL NOTES
- 6. SEE SHEET 06 FOR GENERAL NOTES
- 7. SEE SHEET 07 FOR GENERAL NOTES
- 8. SEE SHEET 08 FOR GENERAL NOTES
- 9. SEE SHEET 09 FOR GENERAL NOTES
- 10. SEE SHEET 10 FOR GENERAL NOTES
- 11. SEE SHEET 11 FOR GENERAL NOTES
- 12. SEE SHEET 12 FOR GENERAL NOTES
- 13. SEE SHEET 13 FOR GENERAL NOTES
- 14. SEE SHEET 14 FOR GENERAL NOTES
- 15. SEE SHEET 15 FOR GENERAL NOTES
- 16. SEE SHEET 16 FOR GENERAL NOTES
- 17. SEE SHEET 17 FOR GENERAL NOTES
- 18. SEE SHEET 18 FOR GENERAL NOTES
- 19. SEE SHEET 19 FOR GENERAL NOTES
- 20. SEE SHEET 20 FOR GENERAL NOTES

PMC PROPERTY GROUP
 2301 JFK BLVD.
 PHILADELPHIA, PA

Gensler

1400 MARKET STREET
 PHILADELPHIA, PA 19102
 TEL: 215.261.2000
 WWW.GENSLER.COM

LAVERAN
 1400 MARKET STREET
 PHILADELPHIA, PA 19102
 TEL: 215.261.2000
 WWW.LAVERAN.COM

TimHaas
 1400 MARKET STREET
 PHILADELPHIA, PA 19102
 TEL: 215.261.2000
 WWW.TIMHAAS.COM

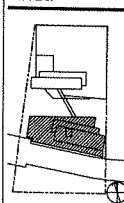
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE PENNSYLVANIA BUILDING CODE (PBC).
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE PENNSYLVANIA MECHANICAL AND ELECTRICAL CODE (PMEC).
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC) AND THE PENNSYLVANIA PLUMBING AND MECHANICAL CODE (PPMC).
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE PENNSYLVANIA FIRE AND SAFETY CODE (PFSC).
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE PENNSYLVANIA ENERGY CONSERVATION CODE (PECC).
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING CODE (ISC) AND THE PENNSYLVANIA SCHEDULING CODE (PSC).
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC) AND THE PENNSYLVANIA SAFETY CODE (PSC).
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY CODE (IAC) AND THE PENNSYLVANIA ACCESSIBILITY CODE (PAC).
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL CODE (IEC) AND THE PENNSYLVANIA ENVIRONMENTAL CODE (PEC).
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABILITY CODE (ISC) AND THE PENNSYLVANIA SUSTAINABILITY CODE (PSC).



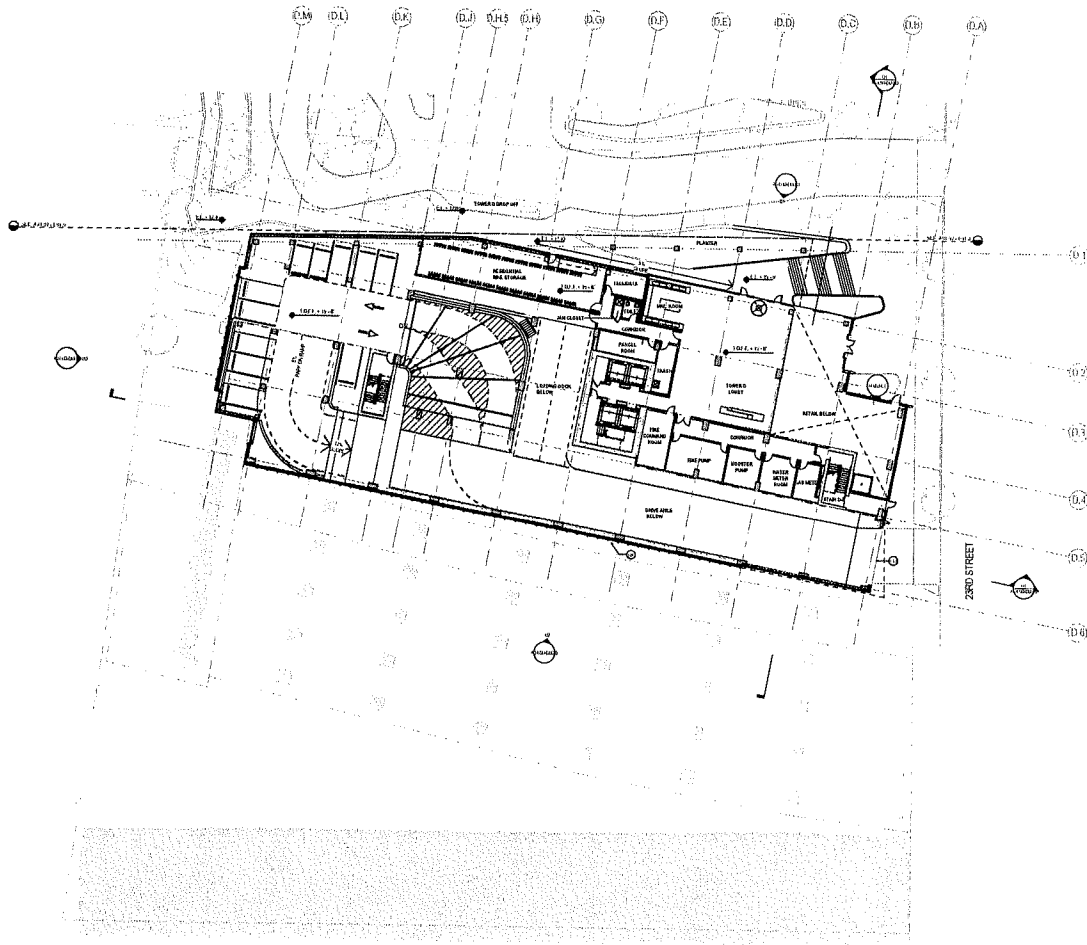
NOT FOR CONSTRUCTION

KEY PLAN



01 OVERALL PLAN - PREMISE D - LOWER LEVEL 01

A01.02-D00.0



01 OVERALL PLAN - PREMISE D - LEVEL 01

SHEET NOTES

NO. 1015 1015 2015 2015
 THE ARCHITECTS
 2301 JFK BLVD.
 PHILADELPHIA, PA

PMC PROPERTY GROUP
 2301 JFK BLVD.
 PHILADELPHIA, PA

Genster
 1015 1015 2015 2015
 THE ARCHITECTS
 2301 JFK BLVD.
 PHILADELPHIA, PA

LANGAN **TimHarris**
 1015 1015 2015 2015
 THE ARCHITECTS
 2301 JFK BLVD.
 PHILADELPHIA, PA

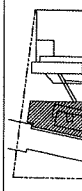
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 8. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

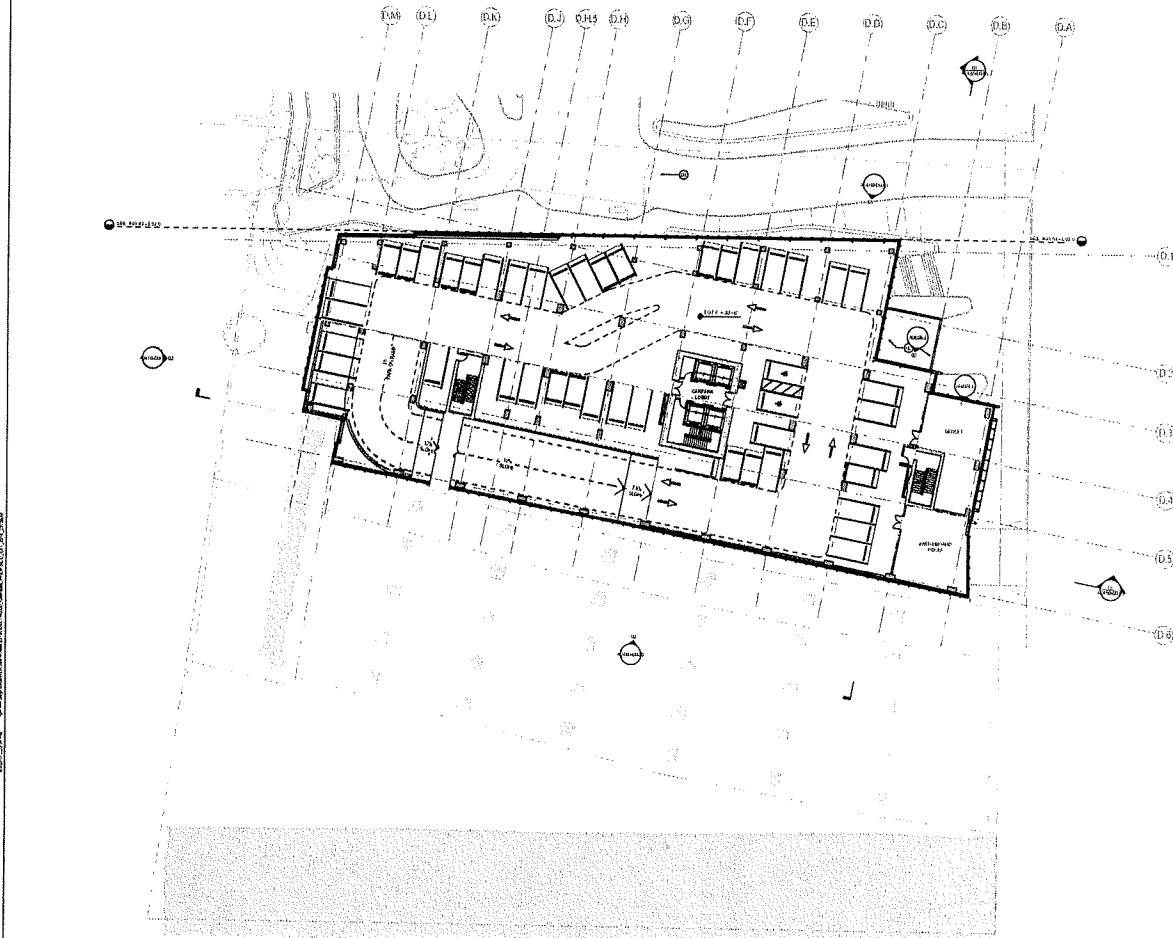


NOT FOR CONSTRUCTION

KEY PLAN



Project Name:
 RIVERWALK/JFK
 BOULEVARD
 Project Number:
 06.0194.000
 Location:
 OVERALL PLAN - PREMISE D - LEVEL
 01
 Scale:
 1/16" = 1'-0"
A01.02-D01.0



01 OVERALL PLAN - PREMISE D - LEVEL 02

SHEET NOTES

1. SEE SHEET 01 FOR OVERALL SITE PLAN.
2. SEE SHEET 02 FOR OVERALL SITE PLAN.

PMC PROPERTY GROUP
2301 JFK BLVD.
PHILADELPHIA, PA

Gensler

1400 MARKET STREET, SUITE 1000
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.GENSLER.COM

THORNTON TOMASETTI
1500 MARKET STREET, SUITE 1000
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.TTARCH.COM

LANGAN TIMKHAIS
1500 MARKET STREET, SUITE 1000
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.LANGANARCH.COM

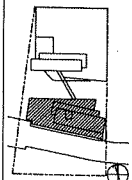
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE PHILADELPHIA DEPARTMENT OF PUBLIC WORKS (DPW) REQUIREMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE DPW.

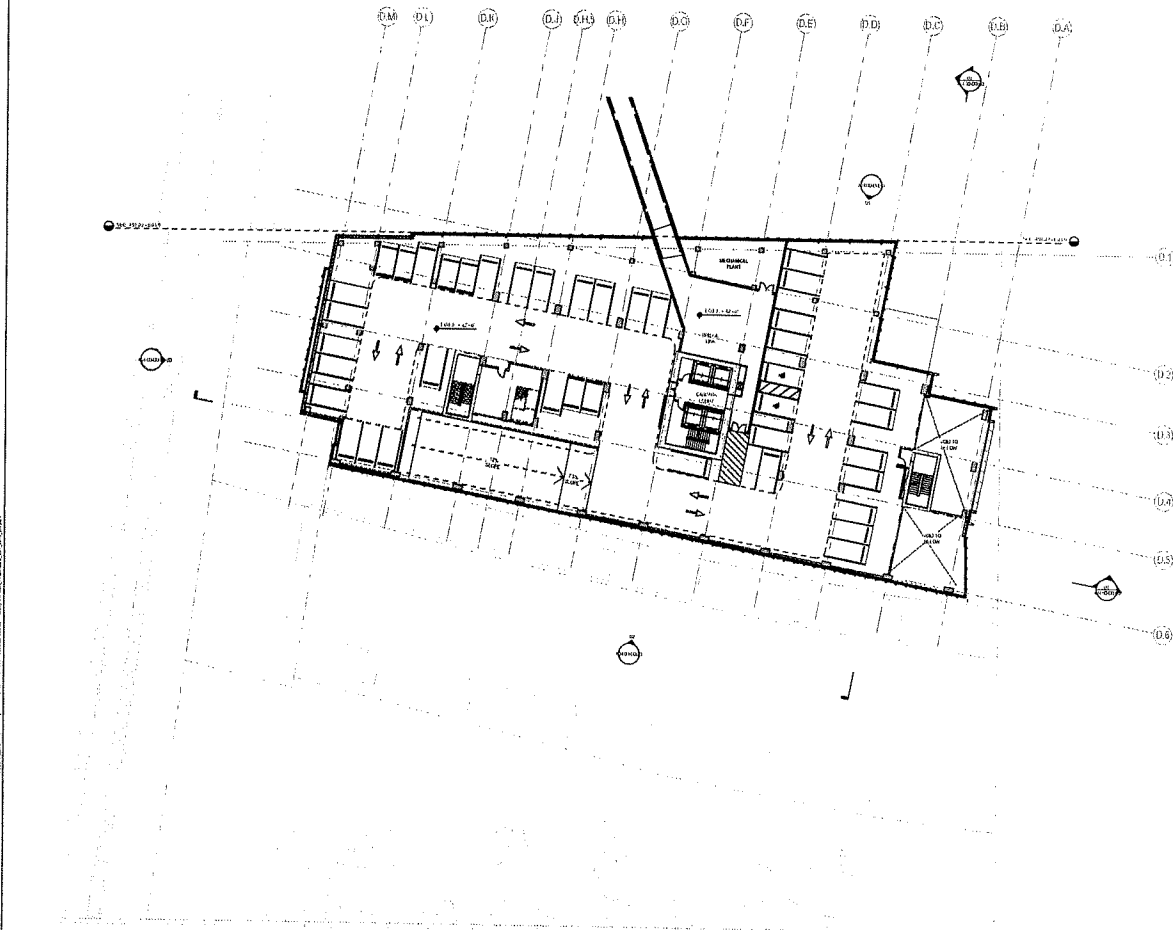


NOT FOR CONSTRUCTION

KEY PLAN



Project Name: RIVERWALK JFK BOULEVARD
Project Number: 06.0194.000
Description: OVERALL PLAN - PREMISE D - LEVEL 02
Scale: 1/8" = 1'-0"
Sheet Number: A01.02-D02.0



01 OVERALL PLAN - PREMISE D - LEVEL 03

SHEET NOTES

PMC PROPERTY GROUP
 2001 JFK BLVD
 PHILADELPHIA, PA

Gensler
 1000 Market Street
 Philadelphia, PA 19106

THORNTON TOMASETTI
 1000 Market Street
 Philadelphia, PA 19106

LANGAN TIRRELL
 1000 Market Street
 Philadelphia, PA 19106

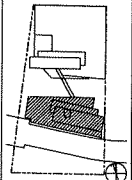
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE PENNSYLVANIA DEPARTMENT OF REVENUE'S (PDR) REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AND UTILITIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

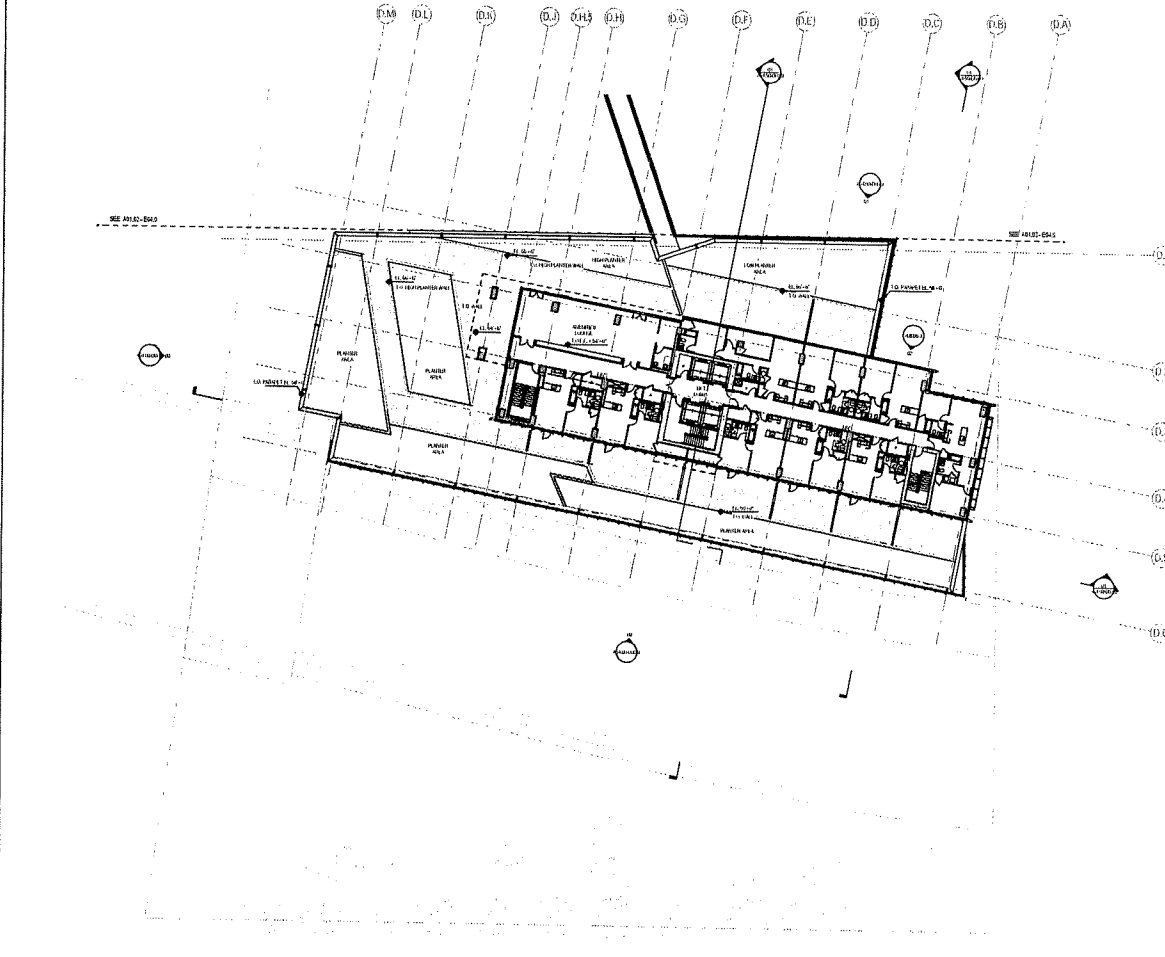


NOT FOR CONSTRUCTION

KEY PLAN



Project: RIVERWALK JFK BOULEVARD
 Location: 06.0194.000
 Description: OVERALL PLAN - PREMISE D - LEVEL 03
 Scale: 1/8" = 1'-0"
A01.02-D03.0



SHEET NOTES

1. SEE SHEET A01.02-D04.0 FOR GENERAL NOTES.
 2. SEE SHEET A01.02-D04.0 FOR GENERAL NOTES.
 3. SEE SHEET A01.02-D04.0 FOR GENERAL NOTES.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).

PMC PROPERTY GROUP
 2301 FRANKLIN BLVD.
 PHILADELPHIA, PA

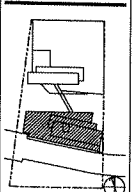
Gensler
 1000 MARKET STREET
 PHILADELPHIA, PA 19102

LANGAN Timko & Associates
 1000 MARKET STREET
 PHILADELPHIA, PA 19102

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

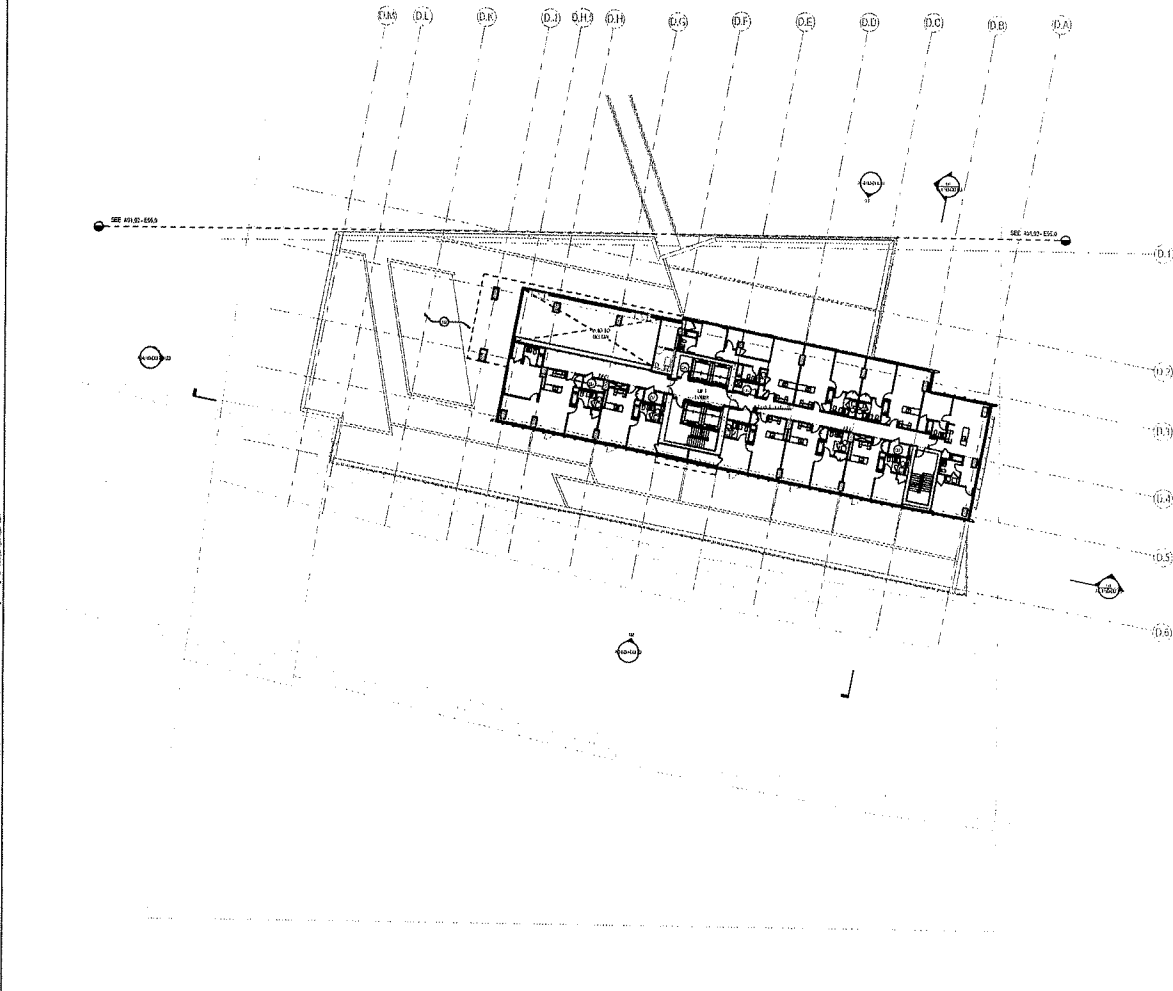
KEY PLAN



Project Name:
 RIVERWALK JFK BOULEVARD
Location:
 PHILADELPHIA, PA
Sheet Title:
 OVERALL PLAN - PREMISE D - LEVEL 04
Scale:
 1/8" = 1'-0"

01 OVERALL PLAN - PREMISE D - LEVEL 04

A01.02-D04.0



01 OVERALL PLAN - PREMISE D - LEVEL 05

SHEET NOTES

NO. 001 PER 01.0000
 BY: 06/15/2017
 PROJECT: 06.0194.000
 SHEET: 01.02-05.0

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).

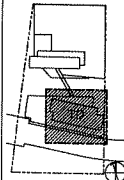
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.

KEY PLAN



PMC PROPERTY GROUP
 200 JFK BLVD
 PHILADELPHIA, PA

Gensler
 1000 MARKET STREET
 PHILADELPHIA, PA 19102

Langhan Timko
 1000 MARKET STREET
 PHILADELPHIA, PA 19102

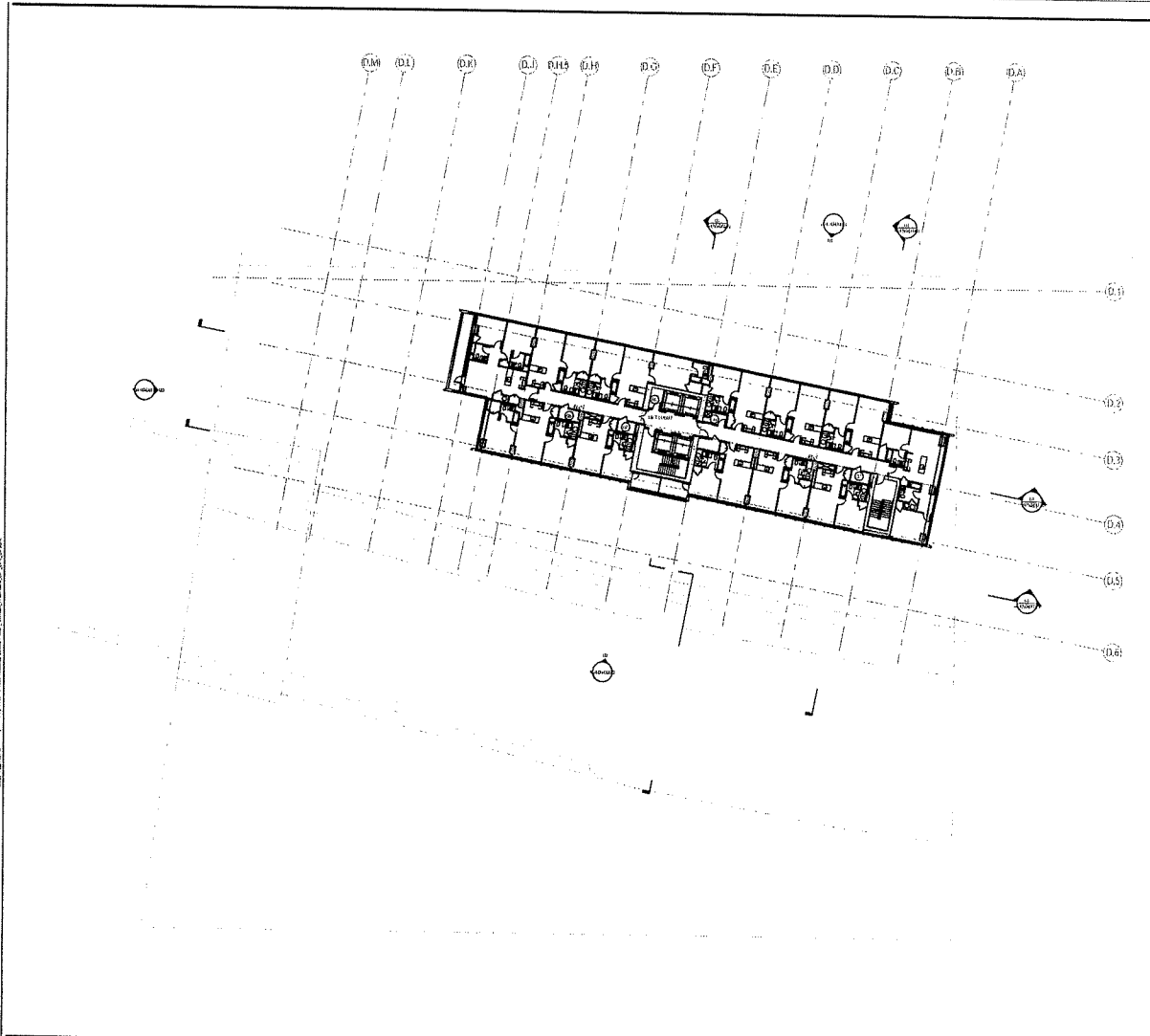
LANGHAN Timko
 1000 MARKET STREET
 PHILADELPHIA, PA 19102

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

Project: RIVERWALK JFK
 BOULEVARD
 Location: 06.0194.000
 Description: OVERALL PLAN - PREMISE D - LEVEL 05

Scale: 1/8" = 1'-0"
A01.02-D05.0



SHEET NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR ENGINEER.

5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

6. ALL DIMENSIONS SHALL BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED.

7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY AND SECURITY OF THE WORK AREA AT ALL TIMES.

8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR ENGINEER.

5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

6. ALL DIMENSIONS SHALL BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED.

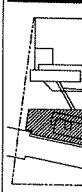
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY AND SECURITY OF THE WORK AREA AT ALL TIMES.

8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

KEY PLAN



PMC PROPERTY GROUP
 2301 RIVERWALK
 PHILADELPHIA, PA

Gensler
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

THORNTON TOMASETTI
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

LANGAN
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

TRINH HAAS
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

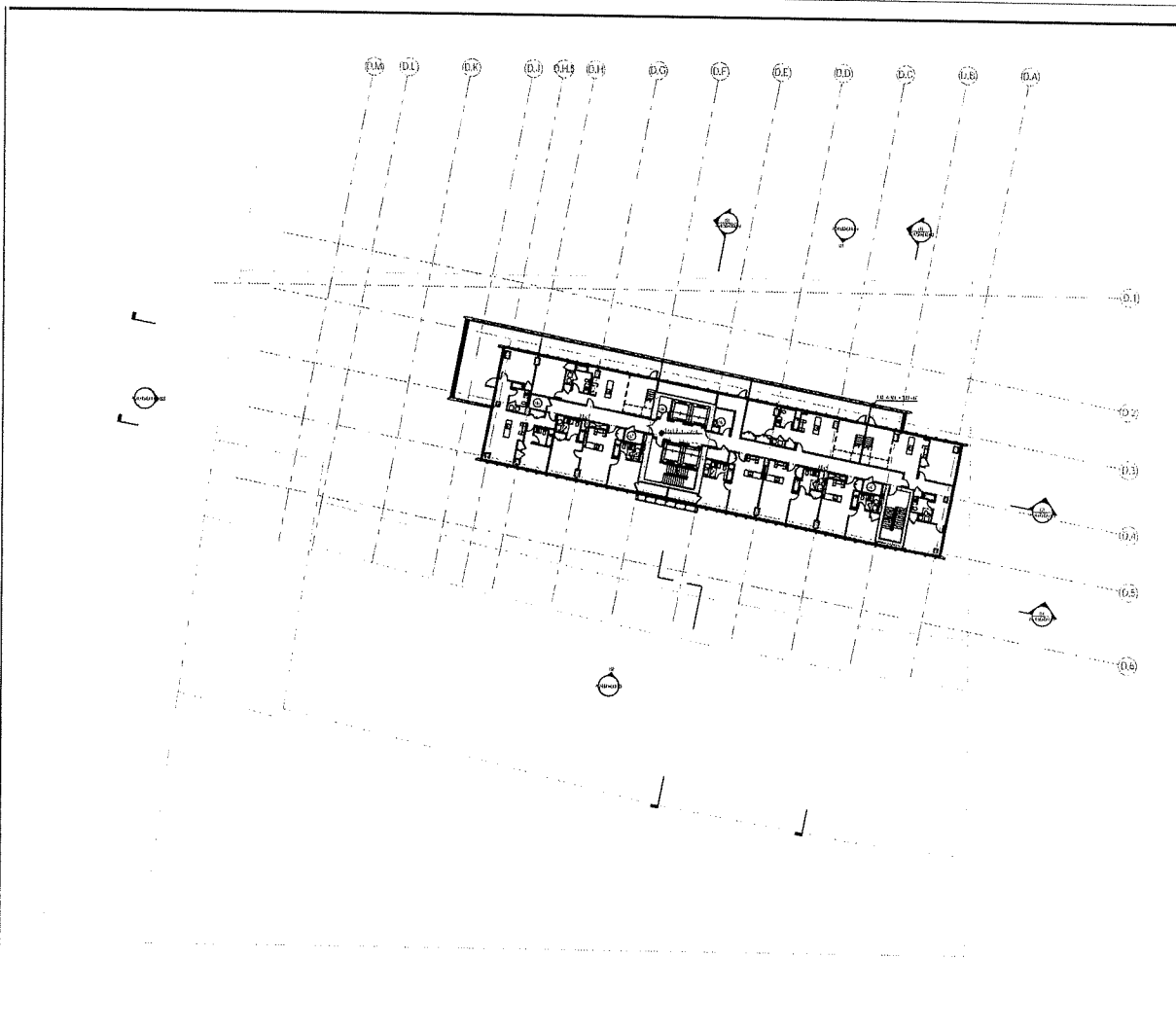
NOT FOR CONSTRUCTION

Project Name: RIVERWALK JFK BOULEVARD
 Location: 06.0194.000

Sheet Title: OVERALL PLAN - PREMISE D - TYPICAL FLOOR LEVEL 05-29

Scale: 1/8" = 1'-0"

Sheet ID: A01.02-D06.0



01 OVERALL PLAN - PREMISE D - LEVEL 30

SHEET NOTES

1. All dimensions are in feet and inches unless otherwise noted.
 2. All work shall be in accordance with the latest editions of the International Building Code and the International Mechanical Code.
 3. All work shall be in accordance with the latest editions of the International Fire Code and the International Fire Marshals Association Code of Best Practices.
 4. All work shall be in accordance with the latest editions of the International Plumbing Code and the International Association of Plumbing and Mechanical Officials Code of Best Practices.
 5. All work shall be in accordance with the latest editions of the International Electrical Code and the National Fire Protection Association Code of Best Practices.
 6. All work shall be in accordance with the latest editions of the International Energy Conservation Code and the International Association of Energy Conservation Professionals Code of Best Practices.
 7. All work shall be in accordance with the latest editions of the International Accessibility and Usability Standards and the International Association of Accessibility Professionals Code of Best Practices.
 8. All work shall be in accordance with the latest editions of the International Green Building Code and the International Green Building Council Code of Best Practices.
 9. All work shall be in accordance with the latest editions of the International Sustainable Building Code and the International Association of Sustainable Building Professionals Code of Best Practices.
 10. All work shall be in accordance with the latest editions of the International Building Code and the International Building Code Code of Best Practices.

PMC PROPERTY GROUP
 220 JFK BLVD.
 PHILADELPHIA, PA

Gensler
 1000 Market Street
 Philadelphia, PA 19106
 Tel: 215.261.2000
 Fax: 215.261.2001

LANGAN TimHaalis
 1000 Market Street
 Philadelphia, PA 19106
 Tel: 215.261.2000
 Fax: 215.261.2001

GENERAL NOTES

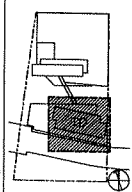
1. All work shall be in accordance with the latest editions of the International Building Code and the International Mechanical Code.
 2. All work shall be in accordance with the latest editions of the International Fire Code and the International Fire Marshals Association Code of Best Practices.
 3. All work shall be in accordance with the latest editions of the International Plumbing Code and the International Association of Plumbing and Mechanical Officials Code of Best Practices.
 4. All work shall be in accordance with the latest editions of the International Electrical Code and the National Fire Protection Association Code of Best Practices.
 5. All work shall be in accordance with the latest editions of the International Energy Conservation Code and the International Association of Energy Conservation Professionals Code of Best Practices.
 6. All work shall be in accordance with the latest editions of the International Accessibility and Usability Standards and the International Association of Accessibility Professionals Code of Best Practices.
 7. All work shall be in accordance with the latest editions of the International Green Building Code and the International Green Building Council Code of Best Practices.
 8. All work shall be in accordance with the latest editions of the International Sustainable Building Code and the International Association of Sustainable Building Professionals Code of Best Practices.
 9. All work shall be in accordance with the latest editions of the International Building Code and the International Building Code Code of Best Practices.



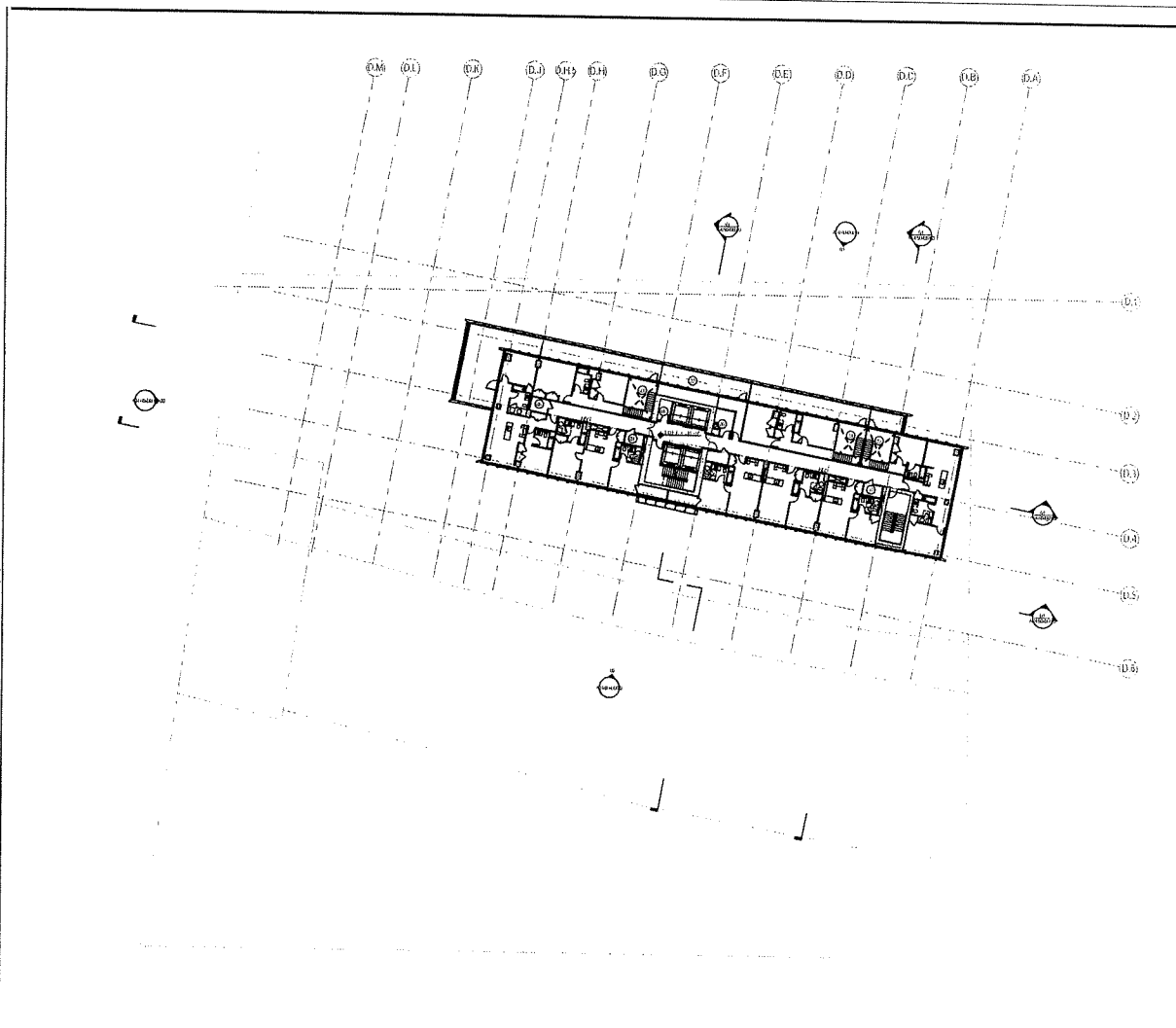
North Arrow

NOT FOR CONSTRUCTION

KEY PLAN



Project Name: RIVERWALK JFK BOULEVARD
 Project Number: 06.0194.000
 Description: OVERALL PLAN - PREMISE D - LEVEL 30 TERRACE
 Scale: 1/8" = 1'-0"
A01.02-D30.0



01 OVERALL PLAN - PREMISE D - LEVEL 31
SCALE: 1/8" = 1'-0"

SHEET NOTES

01. OVERALL PLAN
02. FLOOR PLAN
03. MECHANICAL PLAN
04. ELECTRICAL PLAN
05. PLUMBING PLAN
06. FINISHES PLAN

PMC PROPERTY GROUP
2301 JFK BLVD.
PHILADELPHIA, PA

Gensler

1000 MARKET STREET
PHILADELPHIA, PA 19102
TEL: 215.261.2000

THORNTON TOMASETTI
1000 MARKET STREET
PHILADELPHIA, PA 19102
TEL: 215.261.2000

LANGAN TINKHAAS
1000 MARKET STREET
PHILADELPHIA, PA 19102
TEL: 215.261.2000

GENERAL NOTES

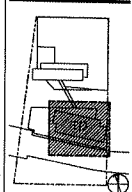
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE PHILADELPHIA DEPARTMENT OF PERMITS AND INSPECTIONS (DPI) REQUIREMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS FROM THE APPROPRIATE AGENCIES.

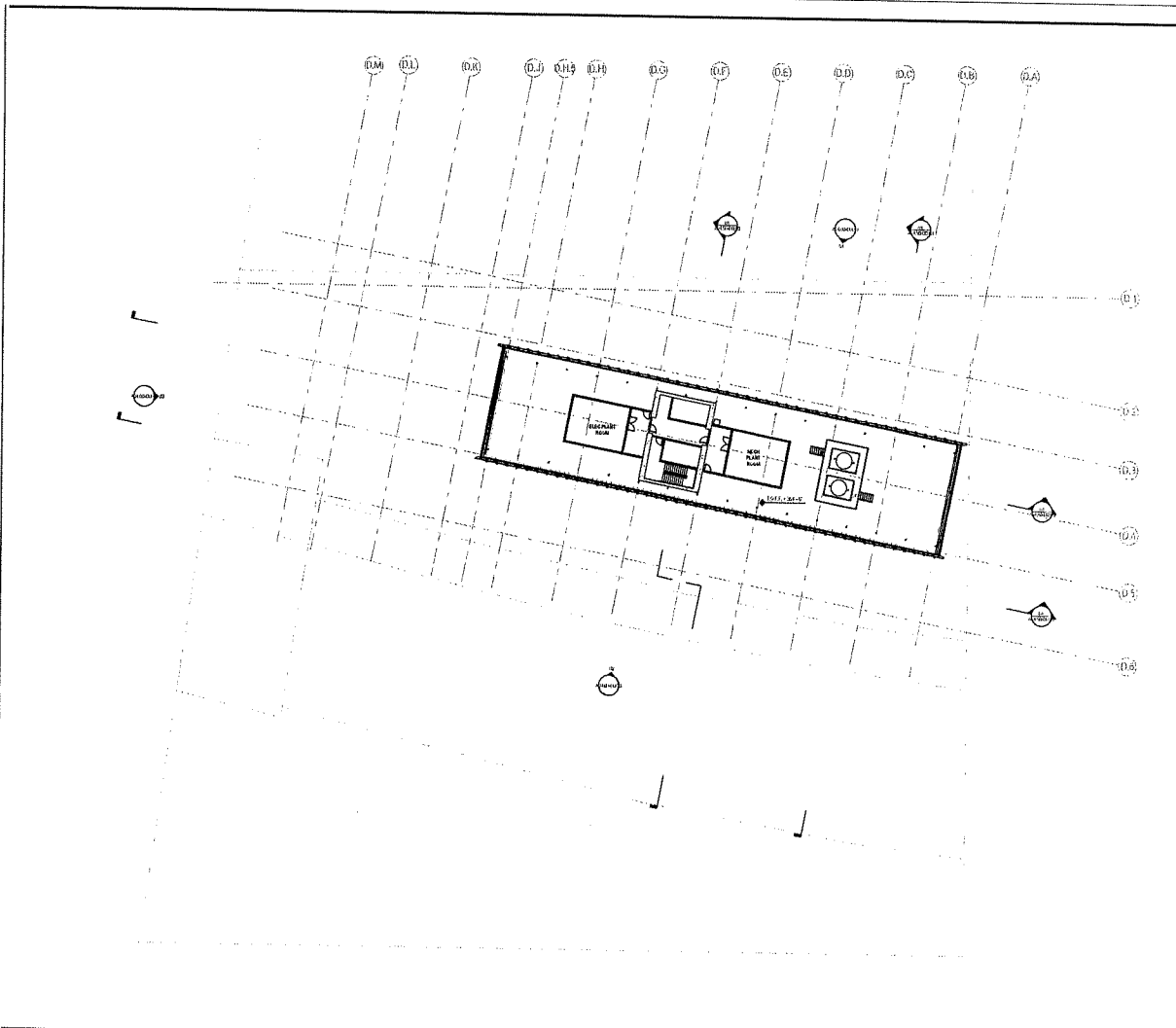


NOT FOR CONSTRUCTION

KEY PLAN



Project Name: RIVERWALK/JFK BOULEVARD
Project Number: 06.0194.000
Location: OVERALL PLAN - PREMISE D - LEVEL 31
Scale: 1/8" = 1'-0"
A01.02-D31.0



01 OVERALL PLAN - PREMISE D - LEVEL 32
SCALE: 1/8" = 1'-0"

SHEET NOTES

PMC PROPERTY GROUP
2301 JEFFERSON BLVD.
PHILADELPHIA, PA

Gensler
Architect
1000 Market Street
Philadelphia, PA 19102

LANGAN Timko & Associates
Structural Engineers
1000 Market Street
Philadelphia, PA 19102

GENERAL NOTES

1. See Section 05100 - Cast-in-Place Concrete

2. See Section 05200 - Formwork

3. See Section 05300 - Reinforcing Steel

4. See Section 05400 - Cast-in-Place Concrete

5. See Section 05500 - Formwork

6. See Section 05600 - Reinforcing Steel

7. See Section 05700 - Cast-in-Place Concrete

8. See Section 05800 - Formwork

9. See Section 05900 - Reinforcing Steel

10. See Section 06000 - Cast-in-Place Concrete

11. See Section 06100 - Formwork

12. See Section 06200 - Reinforcing Steel

13. See Section 06300 - Cast-in-Place Concrete

14. See Section 06400 - Formwork

15. See Section 06500 - Reinforcing Steel

16. See Section 06600 - Cast-in-Place Concrete

17. See Section 06700 - Formwork

18. See Section 06800 - Reinforcing Steel

19. See Section 06900 - Cast-in-Place Concrete

20. See Section 07000 - Formwork

21. See Section 07100 - Reinforcing Steel

22. See Section 07200 - Cast-in-Place Concrete

23. See Section 07300 - Formwork

24. See Section 07400 - Reinforcing Steel

25. See Section 07500 - Cast-in-Place Concrete

26. See Section 07600 - Formwork

27. See Section 07700 - Reinforcing Steel

28. See Section 07800 - Cast-in-Place Concrete

29. See Section 07900 - Formwork

30. See Section 08000 - Reinforcing Steel

31. See Section 08100 - Cast-in-Place Concrete

32. See Section 08200 - Formwork

33. See Section 08300 - Reinforcing Steel

34. See Section 08400 - Cast-in-Place Concrete

35. See Section 08500 - Formwork

36. See Section 08600 - Reinforcing Steel

37. See Section 08700 - Cast-in-Place Concrete

38. See Section 08800 - Formwork

39. See Section 08900 - Reinforcing Steel

40. See Section 09000 - Cast-in-Place Concrete

41. See Section 09100 - Formwork

42. See Section 09200 - Reinforcing Steel

43. See Section 09300 - Cast-in-Place Concrete

44. See Section 09400 - Formwork

45. See Section 09500 - Reinforcing Steel

46. See Section 09600 - Cast-in-Place Concrete

47. See Section 09700 - Formwork

48. See Section 09800 - Reinforcing Steel

49. See Section 09900 - Cast-in-Place Concrete

50. See Section 10000 - Formwork

KEY PLAN

RIVERWALK JFK
BOULEVARD

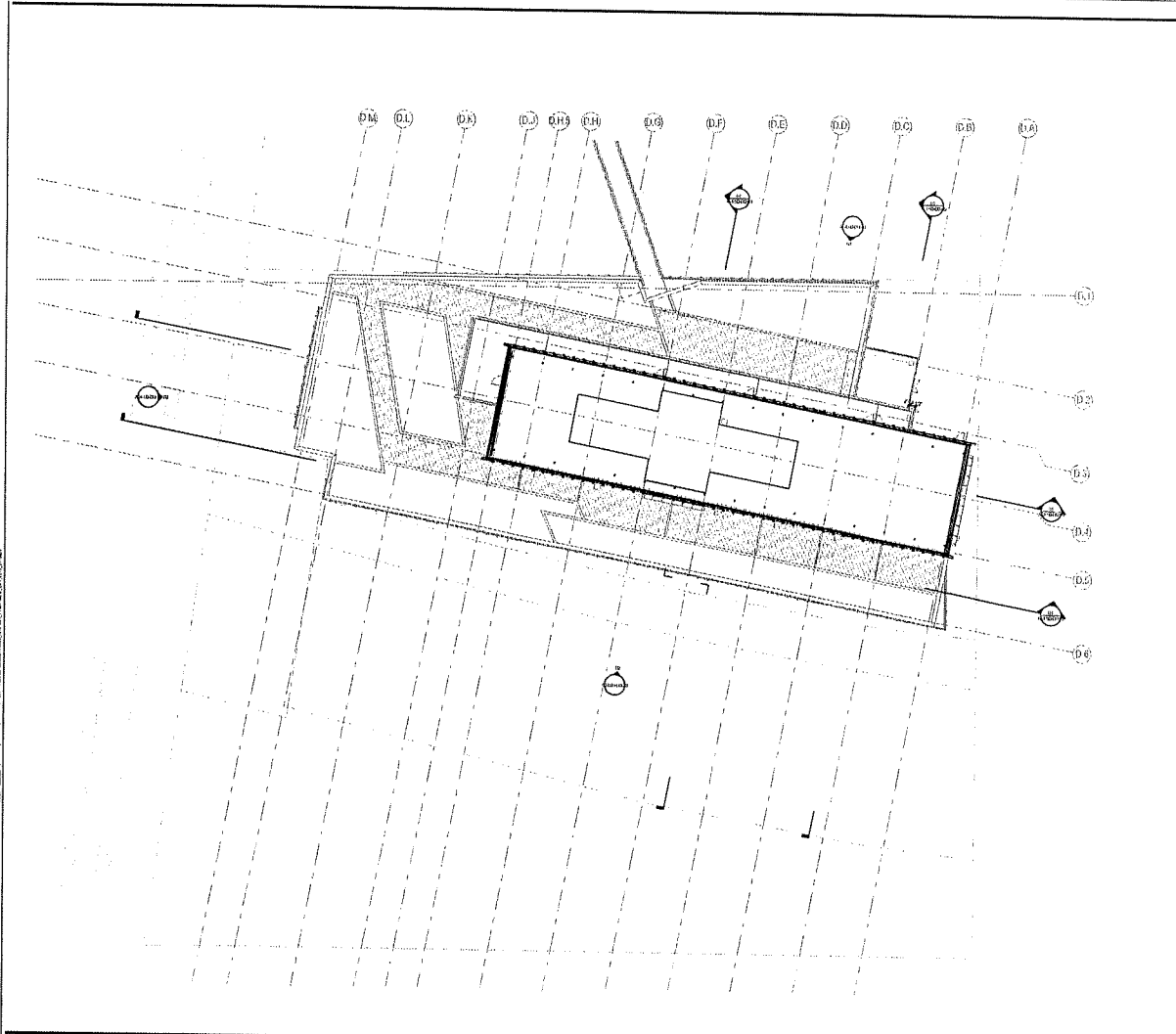
Project Number: 06.0194.000

01 OVERALL PLAN - PREMISE D - LEVEL 32 MECHANICAL ROOM

Scale: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

A01.02-D32.0

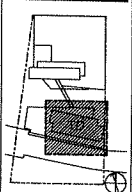


01 OVERALL PLAN - PREMISE D - ROOF

SHEET NOTES

GENERAL NOTES

KEY PLAN



PMC PROPERTY GROUP
 201 JFK BLVD
 PHILADELPHIA, PA

Gensler
 1000 Market Street
 Philadelphia, PA 19102

LANGAN Tim Haalis
 1000 Market Street
 Philadelphia, PA 19102

NOT FOR CONSTRUCTION

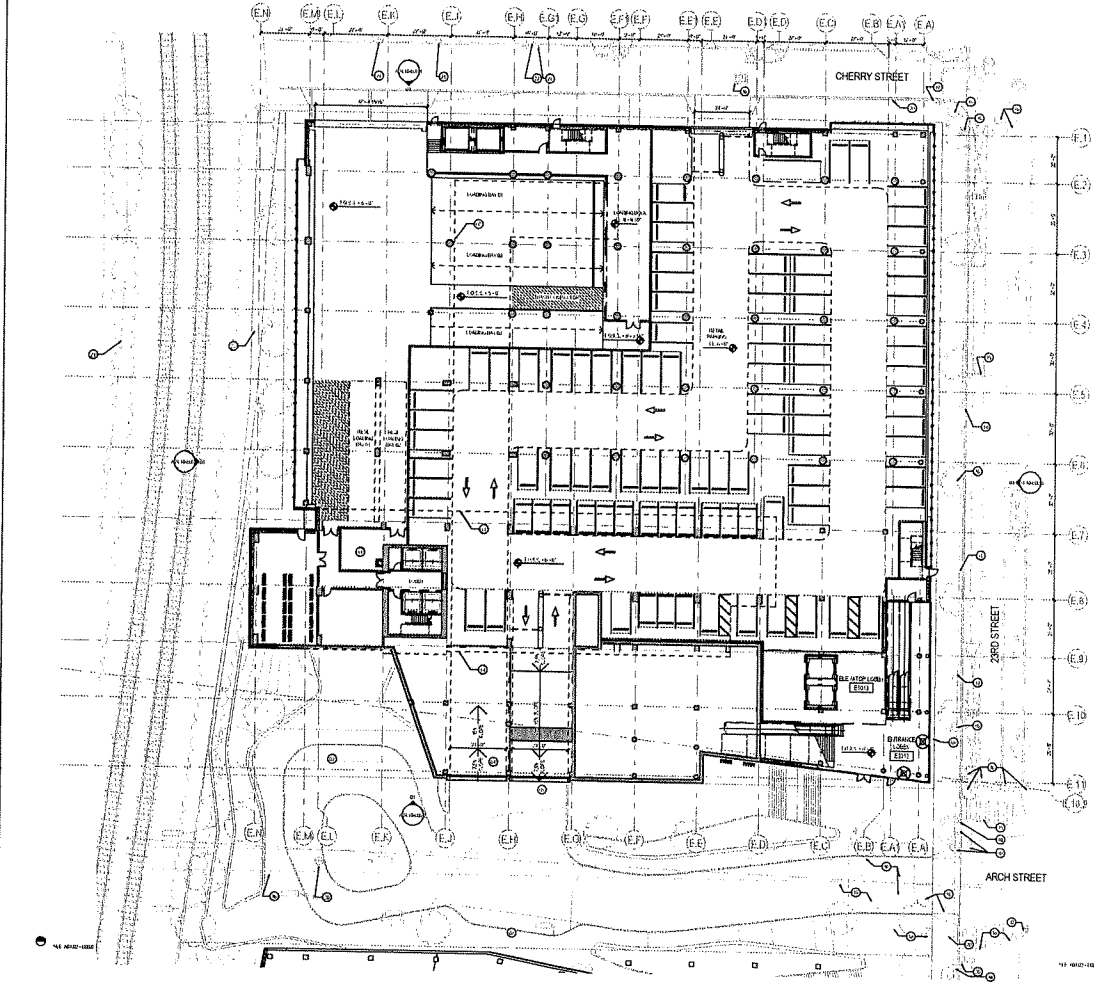
Project Name: RIVERWALK JFK BOULEVARD
 Drawing No: 06.0194.000
 Description: OVERALL PLAN - PREMISE D - ROOF

Date: 06/15/2017
 Scale: 1/8" = 1'-0"

Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Approver: [Name]

06.0194.000

A01.02-D33.0



SHEET NOTES

1. SEE GENERAL NOTES
2. THIS DRAWING IS FOR THE LOWER LEVEL OF THE BUILDING.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

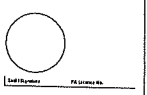
PMC PROPERTY GROUP
 1015 23RD ST
 PHILADELPHIA, PA

Gensler

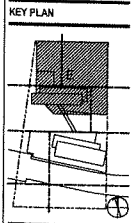
LANGAN Timko & Associates

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

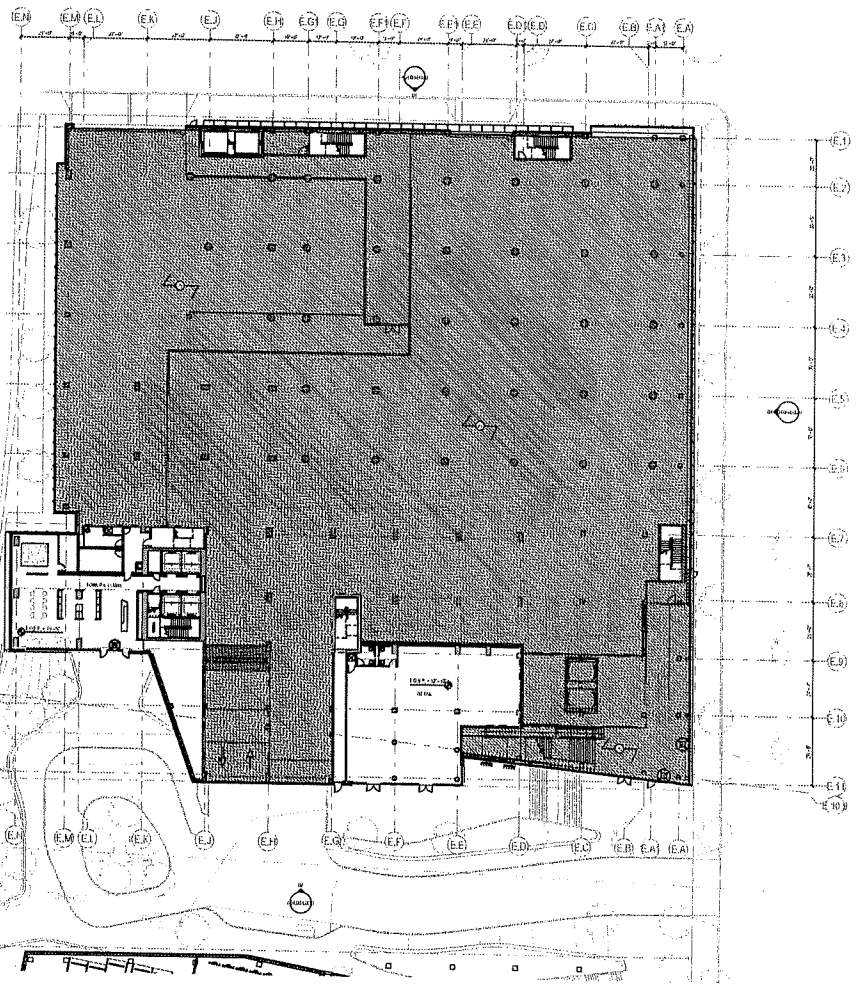


NOT FOR CONSTRUCTION



Project: RITTENWALK/FK BOULEVARD
 Date: 06.01.14.000
 Description: OVERALL PLAN - PREMISE E - LOWER LEVEL 01 (STREET)
 Scale: 1/8" = 1'-0"
A01.02-E00.0

01 OVERALL PLAN - PREMISE E - LOWER LEVEL 01 (STREET)



01 E RETAIL ENTRY - LEVEL 00
SCALE: 1/8" = 1'-0"

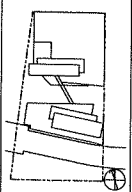
SHEET NOTES

1. SEE ALL DIMENSIONS
2. SEE ALL NOTES

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

KEY PLAN



PMC PROPERTY GROUP
641 JUNG ST
PHILADELPHIA, PA

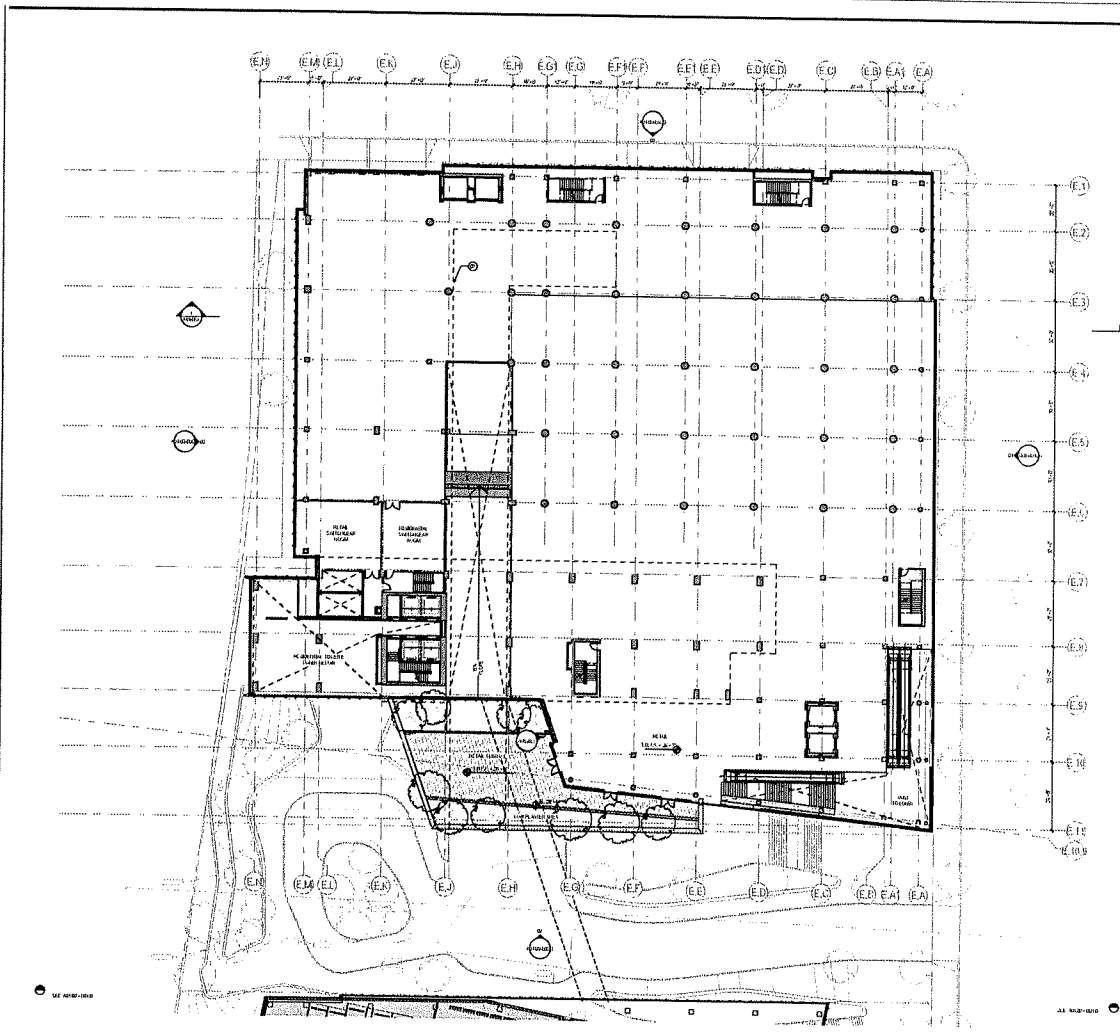
Gensler
1000 Locust St
Philadelphia, PA 19106
Tel: 215.261.2000
www.gensler.com

THORNTON TOMASETTI
1000 Locust St
Philadelphia, PA 19106
Tel: 215.261.2000
www.thorntontomasetti.com

LANGAN **THORNTON**
1000 Locust St
Philadelphia, PA 19106
Tel: 215.261.2000
www.langan.com

NOT FOR CONSTRUCTION

Project: RIVERWALK/FX BOULEVARD
Project No: 06.0194.000
Drawing: OVERALL PLAN - PREMIER E - LOWER LEVEL (2 OF 2) (TALL)
Scale: 1/8" = 1'-0"
A01.02-E00.5



01 OVERALL PLAN - PREMISE E - LEVEL 01
SCALE: 1/8" = 1'-0"

SHEET NOTES

BY: [Signature]

PMC PROPERTY GROUP
5018 JONES ST
PHILADELPHIA, PA

Gensler

1000 Market Street
Philadelphia, PA 19102
Tel: 215.261.2000
Fax: 215.261.2001

LANGAN TimKhan's
1000 Market Street
Philadelphia, PA 19102
Tel: 215.261.2000
Fax: 215.261.2001

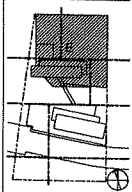
GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



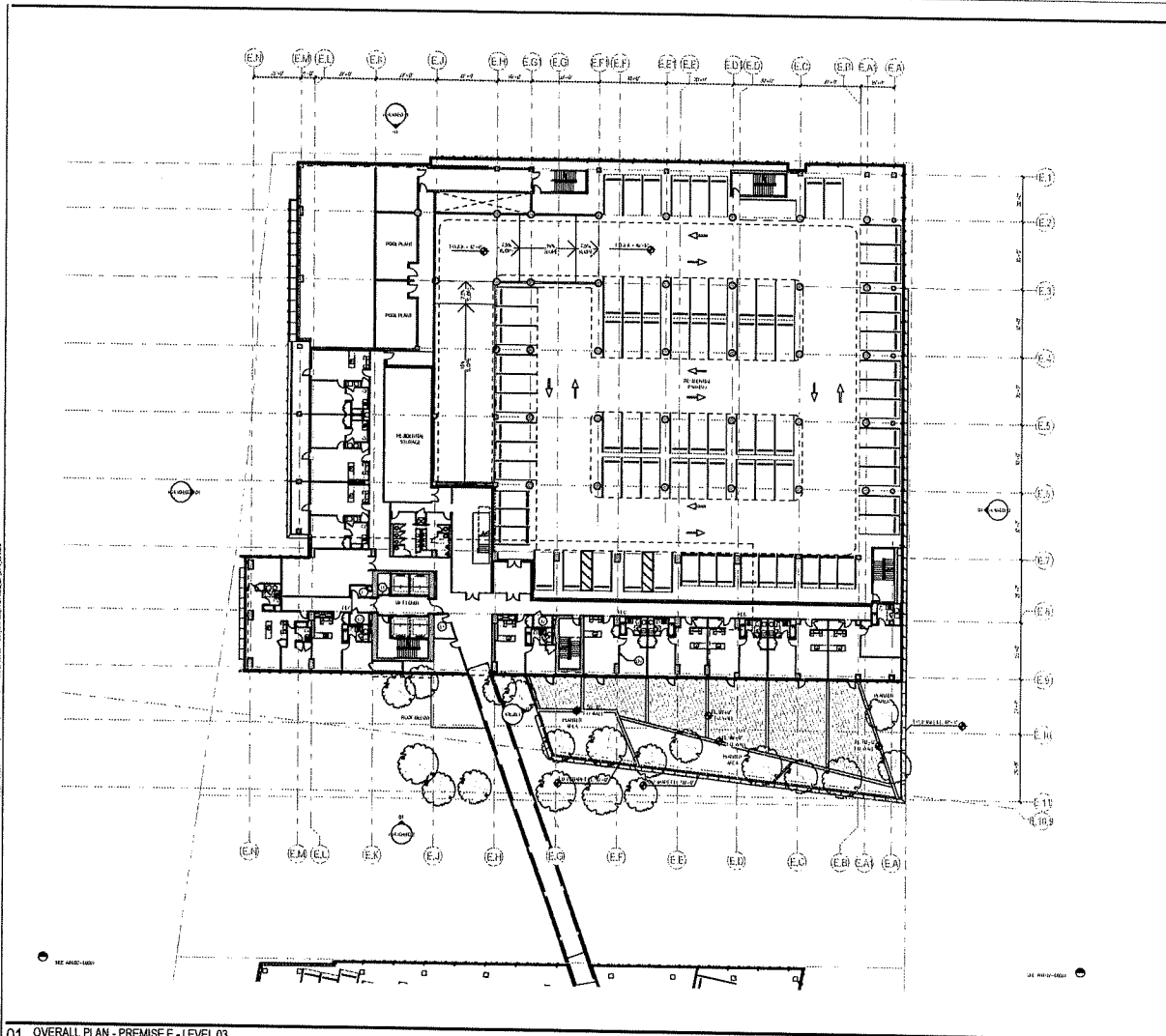
NOT FOR CONSTRUCTION

KEY PLAN



Project Name:
RIVERWALK/FK BOULEVARD
Project Number:
06.0194.000
Revision:
OVERALL PLAN - PREMISE E - LEVEL 01

Scale:
1/8" = 1'-0"
A01.02-E01.0



SHEET NOTES
 01. SEE SHEET A01.02-E03.0 FOR
 02. SEE SHEET A01.02-E03.0 FOR
 03. SEE SHEET A01.02-E03.0 FOR

PMC PROPERTY GROUP
 601 N. 29TH ST
 PHILADELPHIA, PA

Gensler
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

THORNTON TOMASETTI
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

LANGAN TIRAKOJA'S
 1000 MARKET STREET
 PHILADELPHIA, PA 19107

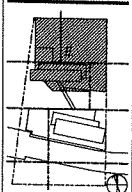
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.



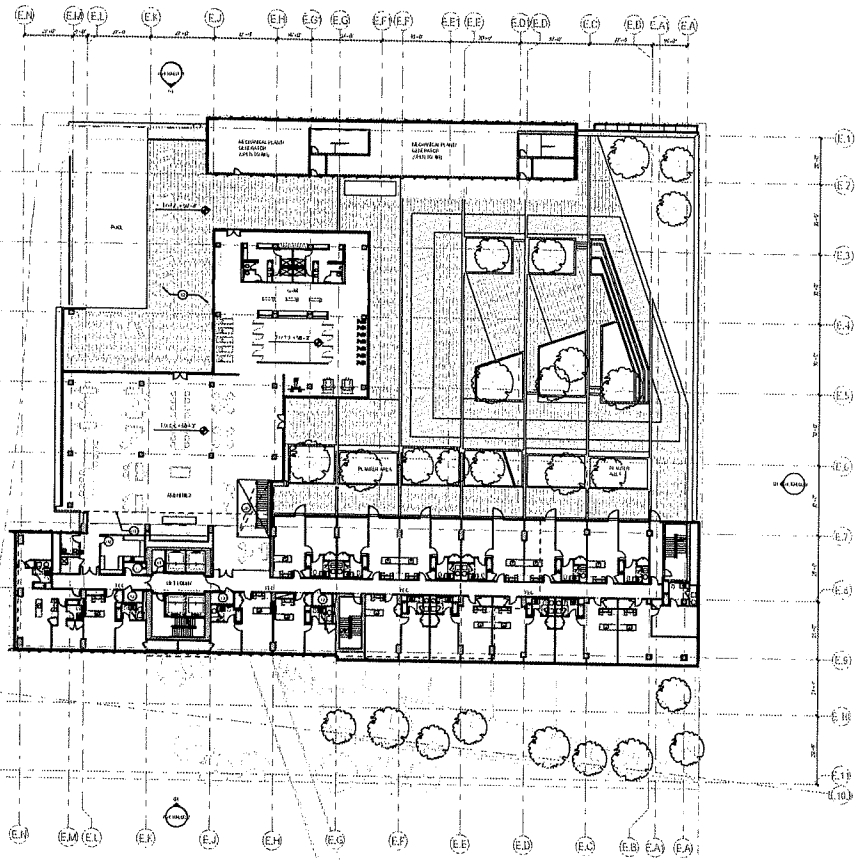
NOT FOR CONSTRUCTION

KEY PLAN



Project Name: RIVERWALK/JFK BOULEVARD
 Project No: 06.0194.000
 Location: OVERALL PLAN - PREMISE E - LEVEL 03
 Scale: 1/8" = 1'-0"
A01.02-E03.0

01 OVERALL PLAN - PREMISE E - LEVEL 03



01 OVERALL PLAN - PREMISE E - LEVEL 04
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 1. SEE SHEET 01.02.01 FOR NOTES
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.

PMC PROPERTY GROUP
 600 N. 3RD ST
 PHILADELPHIA, PA

Gensler

1000 MARKET STREET
 PHILADELPHIA, PA 19107
 TEL: 215.261.2000
 FAX: 215.261.2001

THE DESIGN PARTNERS
 1000 MARKET STREET
 PHILADELPHIA, PA 19107
 TEL: 215.261.2000
 FAX: 215.261.2001

LANGAN TIMMERS
 1000 MARKET STREET
 PHILADELPHIA, PA 19107
 TEL: 215.261.2000
 FAX: 215.261.2001

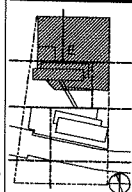
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.



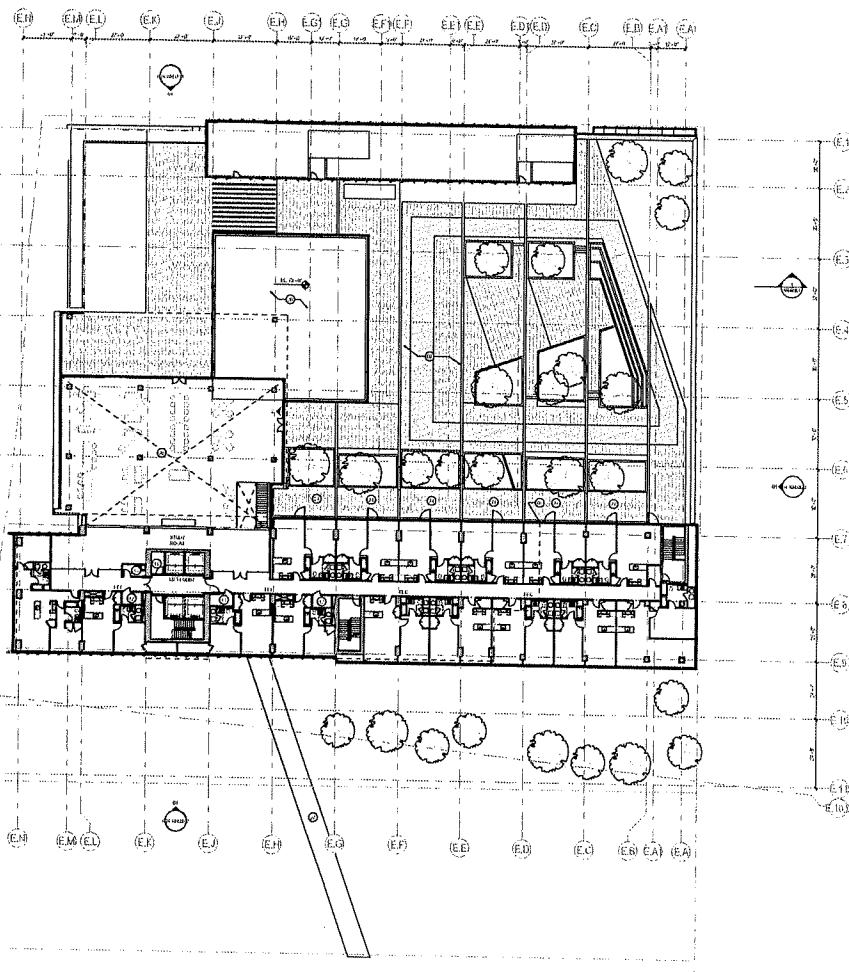
NOT FOR CONSTRUCTION

KEY PLAN



Prepared by:
RIVERWALK/JFK BOULEVARD
 Date:
 05.01.14.000
 Revision:
 OVERALL PLAN - PREMISE E - LEVEL 04

Scale:
 1/8" = 1'-0"
A01.02-E04.0



01 OVERALL PLAN - PREMISE E - LEVEL 05

SHEET NOTES

- 1. SEE SHEET 02 FOR NOTES
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

PMC PROPERTY GROUP
 6011 ZION ST
 PHILADELPHIA, PA

Gensler

1000 Market Street
 Philadelphia, PA 19102
 215.261.2000
 www.gensler.com

LANSON Timka
 1000 Market Street
 Philadelphia, PA 19102
 215.261.2000
 www.lanson.com

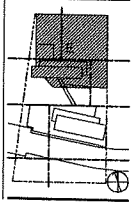
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

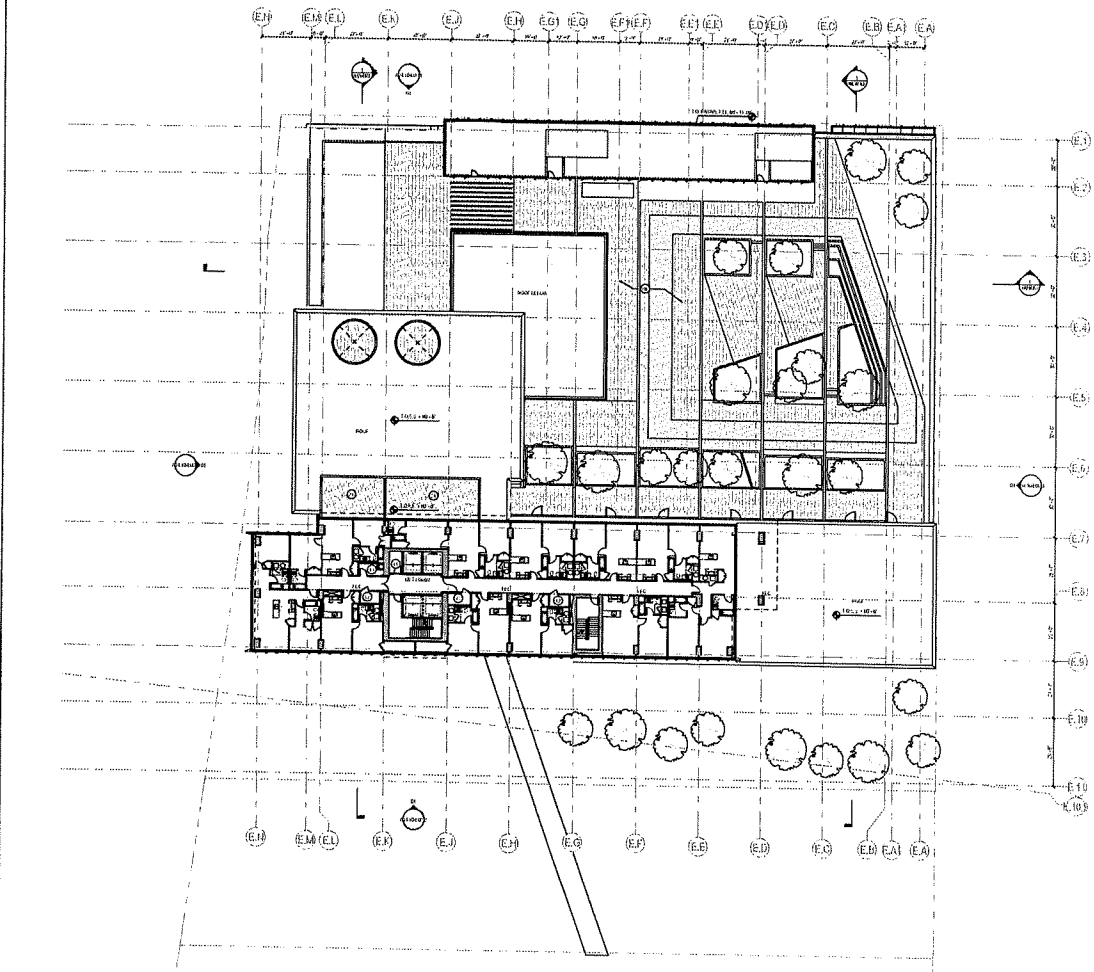


NOT FOR CONSTRUCTION

KEY PLAN

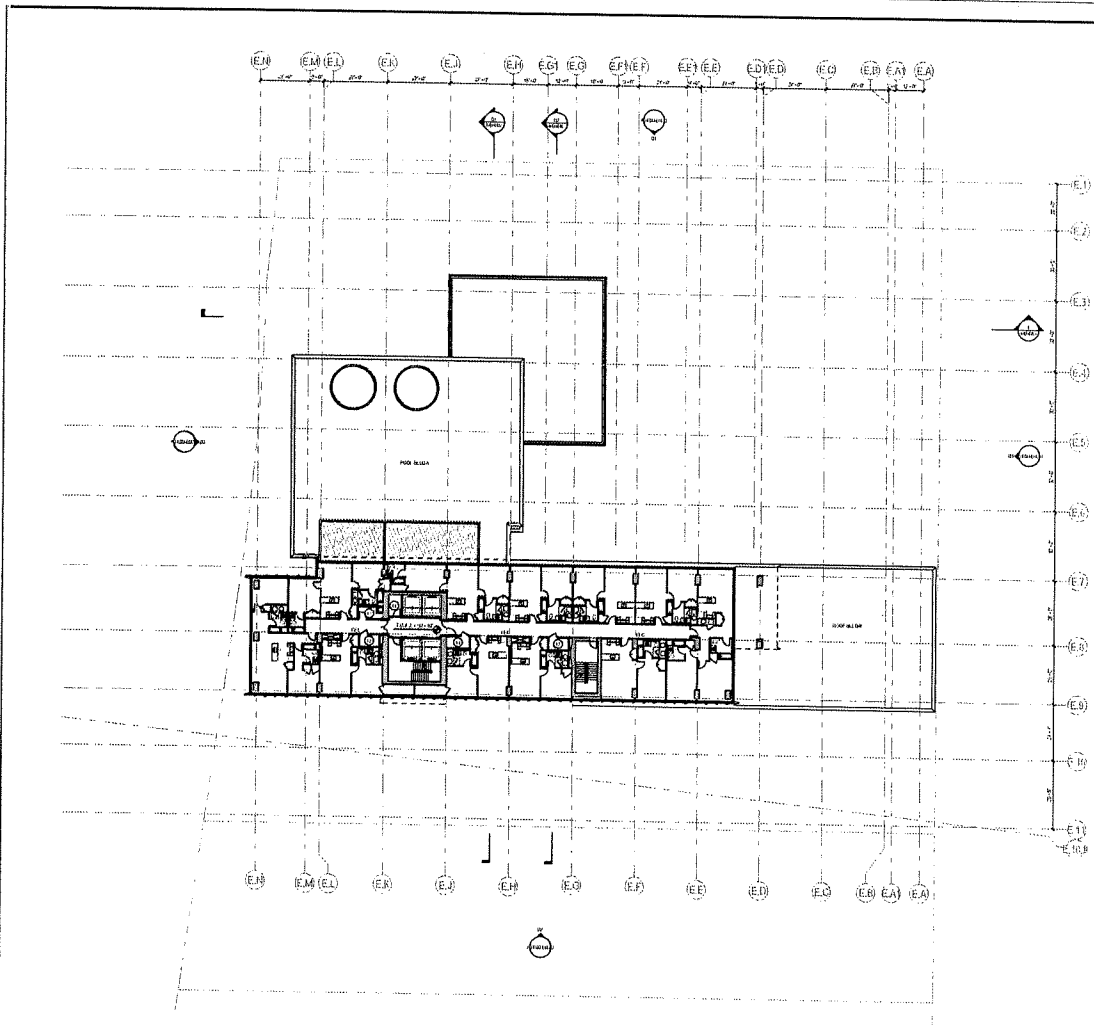


Project Name:
RIVERWALK/JFK BOULEVARD
 Project Number:
06.0194.000
 Description:
OVERALL PLAN - PREMISE E - LEVEL 05
 Date:
10/17/16
A01.02-E05.0



01 OVERALL PLAN - PREMISE E - LEVEL 06

SHEET NOTES 1. SEE SHEET 02 FOR GENERAL NOTES 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 4. ALL DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE	
PMC PROPERTY GROUP 100 N. 2ND ST. PHILADELPHIA, PA	
Gensler 100 N. 2ND ST. PHILADELPHIA, PA	
LANGAN TimHaan's 100 N. 2ND ST. PHILADELPHIA, PA	
GENERAL NOTES 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED 2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 3. ALL DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE 4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 5. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 6. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 7. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 8. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 9. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE 10. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE	
KEY PLAN 	
NOT FOR CONSTRUCTION Project Name: RIVERWALK/JFK BOULEVARD Project Number: 06.0194.000 Drawing Title: OVERALL PLAN - PREMISE E - LEVEL 06 Scale: 1/8" = 1'-0" Drawing Number: A01.02-E06.0	



01 OVERALL PLAN - PREMISE E - LEVEL 07

SHEET NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC/NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL PLUMBING AND MECHANICAL CODES (IPC/UPC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL FIRE AND SAFETY CODES (IFC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL ENERGY CONSERVATION CODES (IECC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL TRANSPORTATION AND HIGHWAY BUILDING CODES (ITBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL SAFETY AND HEALTH CODES (ISHC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL ENVIRONMENTAL AND CONSTRUCTION CODES (IECC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL AIR POLLUTION CONTROL CODES (APCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL SOUND AND VIBRATION CODES (SVC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL LIGHTING CODES (LIC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL TELECOMMUNICATIONS AND ELECTRONIC INFORMATION TECHNOLOGY CODES (TELECOM) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL SECURITY AND ACCESS CONTROL CODES (SACC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL RISK MANAGEMENT AND BUSINESS CONTINUITY CODES (RMBCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL QUALITY MANAGEMENT AND BEST PRACTICES CODES (QMBCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

PMC PROPERTY GROUP
 1212 ZION ST
 PHILADELPHIA, PA

Gensler
 1100 MARKET ST
 PHILADELPHIA, PA

LANGAN TimKlaas
 1100 MARKET ST
 PHILADELPHIA, PA

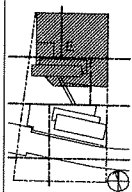
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC/NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL TRANSPORTATION AND HIGHWAY BUILDING CODES (ITBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL SAFETY AND HEALTH CODES (ISHC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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- 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL LIGHTING CODES (LIC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL TELECOMMUNICATIONS AND ELECTRONIC INFORMATION TECHNOLOGY CODES (TELECOM) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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- 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED INTERNATIONAL QUALITY MANAGEMENT AND BEST PRACTICES CODES (QMBCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

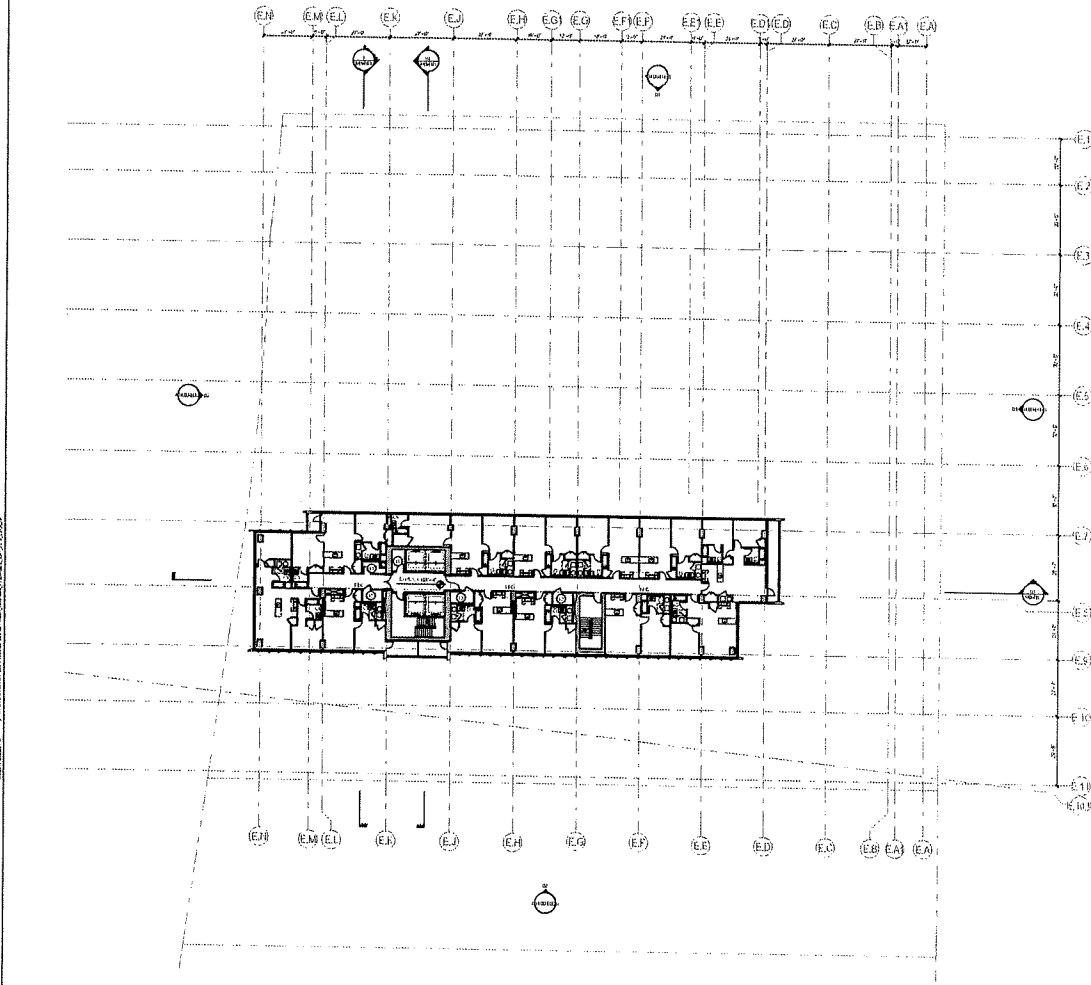


NOT FOR CONSTRUCTION

KEY PLAN



Project Name: RIVERWALK/JFK BOULEVARD
 Project Number: 06.0194.000
 Location: OVERALL PLAN - PREMISE E - LEVEL 07
 Scale: 1/8" = 1'-0"
A01.02-E07.0



01 OVERALL PLAN - PREMISE E - LEVEL 08

SHEET NOTES

- 1. SEE SHEET 02 FOR GENERAL NOTES
- 2. SEE SHEET 03 FOR GENERAL NOTES
- 3. SEE SHEET 04 FOR GENERAL NOTES

PMC PROPERTY GROUP
 60 N. ZIBO ST
 PHILADELPHIA, PA

Gensler

1400 N. 17TH ST
 PHILADELPHIA, PA 19102

Thomson

1400 N. 17TH ST
 PHILADELPHIA, PA 19102

LANEAN

1400 N. 17TH ST
 PHILADELPHIA, PA 19102

GENERAL NOTES

- 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.

NOT FOR CONSTRUCTION

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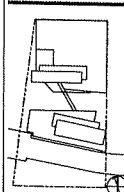
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

KEY PLAN



NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

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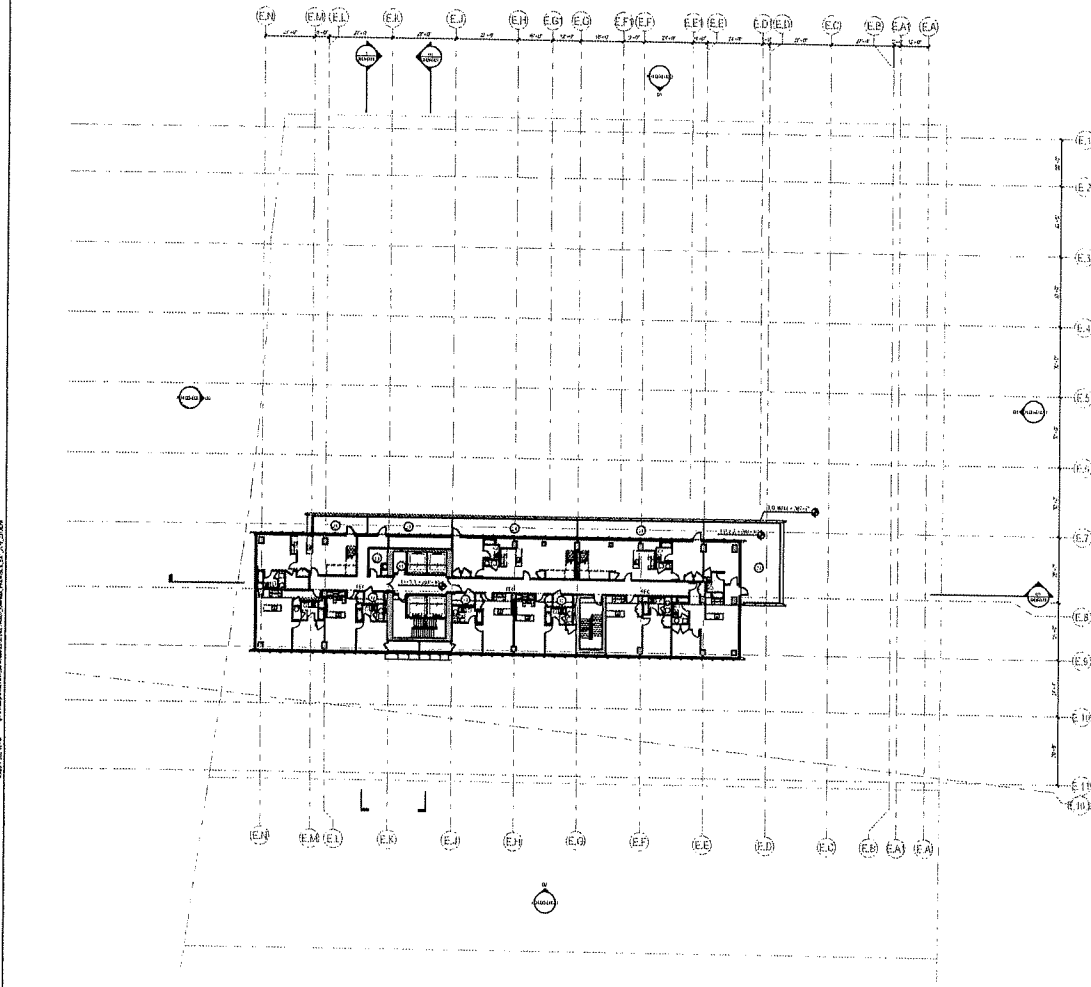
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

A01.02-E08.0



01 OVERALL PLAN - PREMISE E - LEVEL 25

SHEET NOTES

- 1. GENERAL NOTES
- 2. SEE SHEET A01.02-E-25.0
- 3. SEE SHEET A01.02-E-25.0
- 4. SEE SHEET A01.02-E-25.0

PMC PROPERTY GROUP
 60 N. 2ND ST.
 PHILADELPHIA, PA

Gensler

1000 Market Street
 Philadelphia, PA 19107
 Tel: 215.261.2000
 Fax: 215.261.2001

THORNTON TOMASETTI
 1000 Market Street
 Philadelphia, PA 19107
 Tel: 215.261.2000
 Fax: 215.261.2001

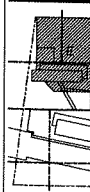
LANGAN TINKLAAS
 1000 Market Street
 Philadelphia, PA 19107
 Tel: 215.261.2000
 Fax: 215.261.2001

GENERAL NOTES

- 1. GENERAL NOTES
- 2. SEE SHEET A01.02-E-25.0
- 3. SEE SHEET A01.02-E-25.0
- 4. SEE SHEET A01.02-E-25.0

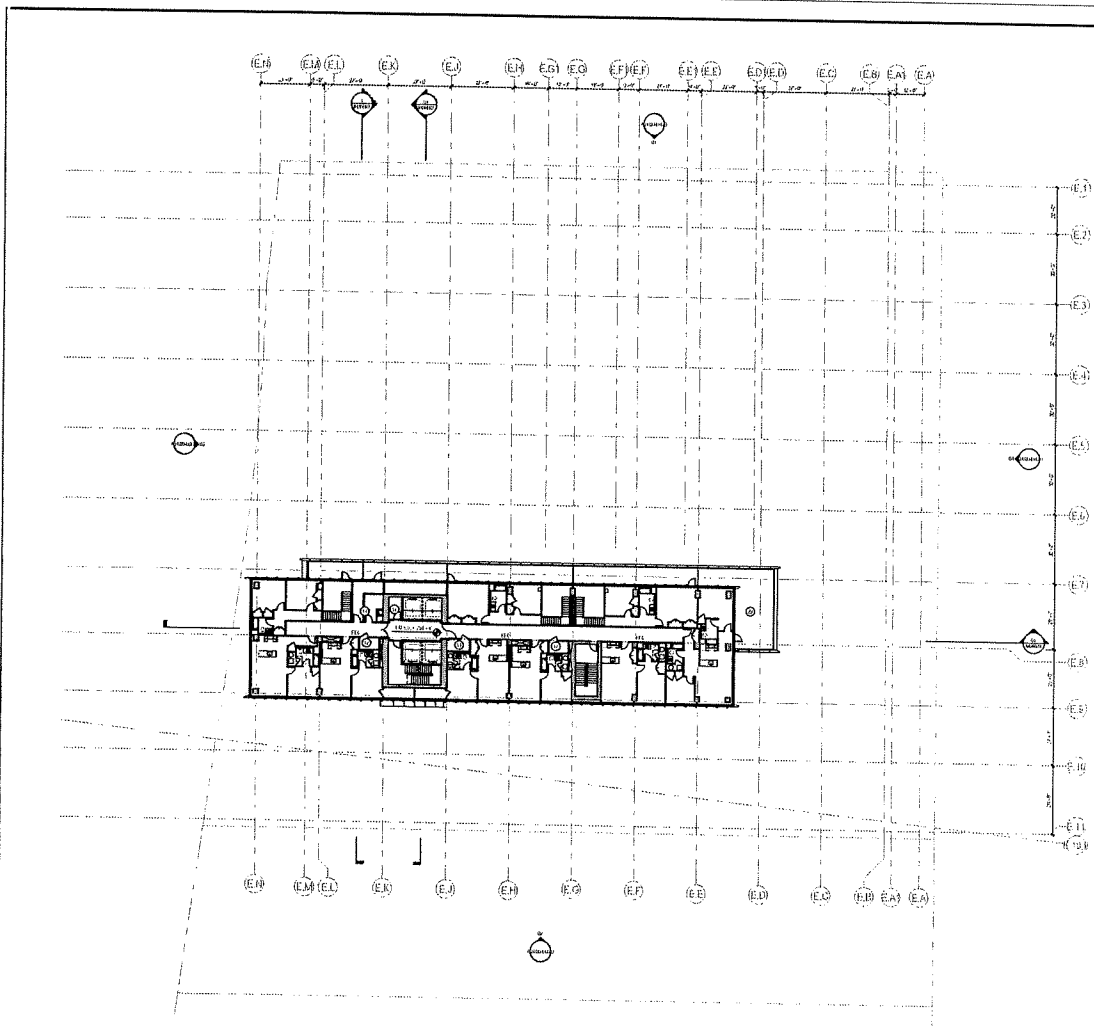
NOT FOR CONSTRUCTION

KEY PLAN



Project Name:
RIVERWALK/JFK BOULEVARD
 Project No.:
06.0194.000
 Description:
OVERALL PLAN - PREMISE E - LEVEL 25
 Date:
01/10/17

A01.02-E-25.0



01 OVERALL PLAN - PREMISE E - LEVEL 26
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 1. SEE GENERAL NOTES
- 2. ALL DIMENSIONS ARE IN FEET AND INCHES
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE

PMC PROPERTY GROUP
60 N. 23RD ST
PHILADELPHIA, PA

Gensler

100 N. 15TH ST
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.GENSLER.COM

Thornton Tomasetti

100 N. 15TH ST
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.TTARCHITECTS.COM

LANGAN Timko

100 N. 15TH ST
PHILADELPHIA, PA 19102
TEL: 215.261.2000
WWW.LANGAN.COM

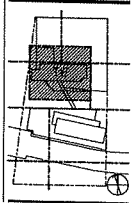
GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE

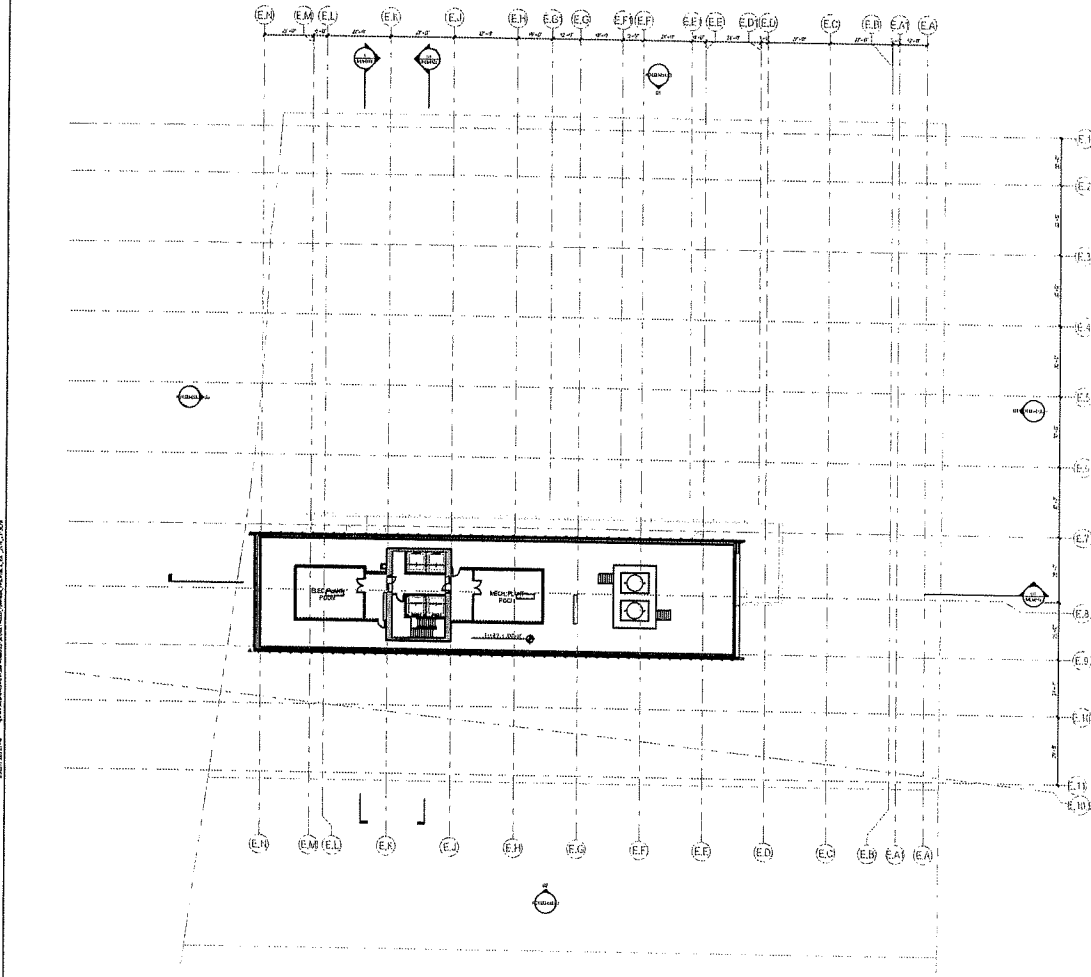


NOT FOR CONSTRUCTION

KEY PLAN



Project Name:
RIVERWALK/JFK BOULEVARD
Project No.:
05.0194.000
Drawing No.:
OVERALL PLAN - PREMISE E - LEVEL 26
Scale:
1/8" = 1'-0"
A01.02-E26.0



01 OVERALL PLAN - PREMISE E - MECHANICAL ROOF

SHEET NOTES

PMC PROPERTY GROUP
 601 N. 29th St
 PHILADELPHIA, PA

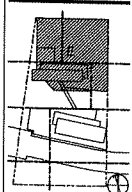
Gensler

LANGAN TimHaas

GENERAL NOTES

- 1. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES OF THE PROJECT.
- 2. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES OF THE PROJECT.
- 3. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES OF THE PROJECT.
- 4. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES OF THE PROJECT.
- 5. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES OF THE PROJECT.

KEY PLAN



NOT FOR CONSTRUCTION

Project Name: RIVERWALK/FK BOULEVARD
 Drawing No: 05.0194.000
 Description: OVERALL PLAN - PREMISE E - LEVEL 27 MECH. ROOF

Scale: 1/8" = 1'-0"
A01.02-E27.0